



# Staff Report to Sustainable Development Advisory Committee

**DATE:** Monday, March 11, 2024

**DEPARTMENT:** Planning

**APPLICATION NO.:** Z23-0026

**SUBJECT:** Bylaw No. 2161 – Application to Rezone 960 Jenkins Avenue from One- and Two-Family Residential (R2) to Residential Townhouse 1 (RT1) to allow for a development of approximately 8 townhouse units.

**PURPOSE:**

Joel Lioudakis has applied on behalf of Van Isle Living Ltd. to rezone 960 Jenkins Avenue from One- and Two-Family Residential (R2) to Residential Townhouse 1 (RT1) to allow for the development of approximately 8 townhouse units across 2 blocks.

**BACKGROUND:**

PREVIOUS APPLICATIONS

There have been no previous planning applications for this property.

**Table 1: Site Data**

<i>Applicant</i>	Joel Lioudakis	
<i>Owner</i>	Van Isle Living Ltd.	
<i>Civic Address</i>	960 Jenkins Avenue	
<i>Legal Description</i>	LOT 35, SECTION 80, ESQUIMALT DISTRICT, PLAN 12203, PID 004-973-267	
<i>Size of Property</i>	1313m <sup>2</sup> (0.325 ac)	
<i>DP Areas</i>	N/A	
<i>Zoning</i>	Existing: R2	Proposed: RT1
<i>OCP Designation</i>	Existing: Neighbourhood	Proposed: Neighbourhood

**SITE AND SURROUNDING AREA**

The subject property is located in west Langford, south of City Centre Park, with access off Jenkins Avenue. The centrally located area, just west of the downtown core, contains uses that range from community recreation to large scale commercial along Langford Parkway, predominantly commercial and service-based businesses along Jacklin Road as well as across Jacklin Road to the east, and institutional and residential uses along Glen Lake Road. Jacklin Road, considered a high density residential and commercial corridor, provides access to downtown Langford and a further connection to Sooke Road. The immediate surrounding area is comprised of predominantly low and medium density housing, including single-family houses on conventionally sized lots, as well as townhouse developments to the east of the subject site.

The parcel is flat in nature and contains an established single-family dwelling with a few mature trees throughout the site. An arborist report has been submitted for the property and will be discussed later in this report.

School District No 62 has been made aware of this application such that they can consider the proposed increase in density in this area as part of their long-range facility planning.

**Figure 1: Subject Property and Surrounding Neighbourhood**



**Table 2: Surrounding Land Uses**

	<b>Zoning</b>	<b>Use</b>
<i>North</i>	CD2 (Comprehensive Development-Hull's Field)	Commercial, light industrial, and community recreation
<i>East</i>	R2 (One- and Two-Family Residential), RM2A (Attached Housing), RT1 (Residential Townhouse 1)	Single- family residential, townhomes
<i>South</i>	R2 (One- and Two-Family Residential)	Single-family residential
<i>West</i>	R2 (One- and Two-Family Residential)	Single-family residential

COUNCIL POLICY

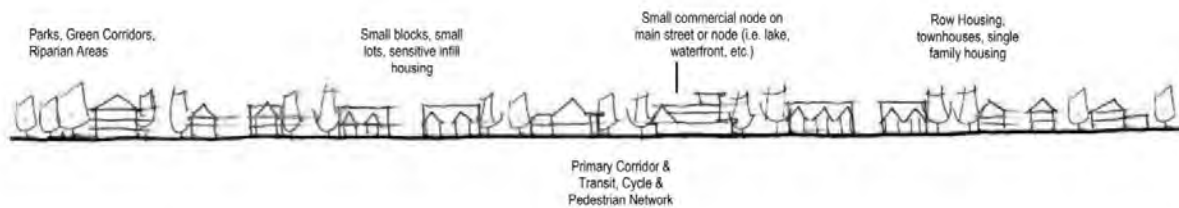
OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “Neighbourhood”, which is defined by the following text:

*Existing settled areas throughout the community predominantly located on the valley floor.*

- *Predominantly residential precinct that supports a range of low and medium density housing choices including secondary suites*
- *This area allows for residential and mixed-use commercial intensification of streets that connect centres and/or are serviced by transit*
- *Schools, community facilities and other institutional uses are permitted throughout the area*
- *Retail serving local residents is encouraged along transportation corridors*
- *Home-based businesses, live-work housing is encouraged*
- *Parks, open spaces and recreational facilities are integrated throughout the area*
- *This area allows for Neighbourhood Centres to emerge in the form of medium density mixed-use nodes at key intersections.*

**A Concept for Neighbourhood Areas**



The Neighbourhood designation within the Official Community Plan (OCP) contains policy that contemplates an overall density objective of 40 units per hectare, or 16 units per acre. According to this designation, 5 units are an appropriate density on a parcel the size of the property in question, whereas the applicant has proposed a density equal to 25 units per acre. Despite this, the density modifier in the Neighbourhood Designation can be considered as an average of the “Neighborhood” area designation as a whole and that given the location of the parcel, close to the Jacklin Road corridor, Council may wish to explore a higher density as proposed by the applicant for the subject property.

Amending the zoning of the subject property from R2 to RT1 will align with the OCP designation as it encourages the diversification of housing options in a traditional single-family neighbourhood through addition of medium density housing such as townhomes.

The lands immediately south of the property across Jenkins Avenue and east of the property across Jacklin Road are designated as Mixed-Use Employment Centre within the OCP, which encourages higher-density mixed use development as well as an array of commercial and light industrial uses that are compatible with residential uses.

#### DEVELOPMENT PERMIT AREAS

The subject property is not located within any of the Hazardous or Environmental Protection Development Permit Areas as defined by Langford’s OCP, therefore only a Form and Character Development Permit will be required prior to obtaining building permits for the site. A Form and Character Development Permit will ensure that the proposal complies with the standards prescribed by Zoning Bylaw No. 300 as well as the Multi-Family Design Guidelines.

#### LOW CARBON CONCRETE

In accordance with Council’s Low Carbon Concrete Policy POL-0167-PLAN, Council may wish to require the applicant to utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data for the construction of the proposed development.

#### COMMENTARY:

##### DEVELOPMENT PROPOSAL

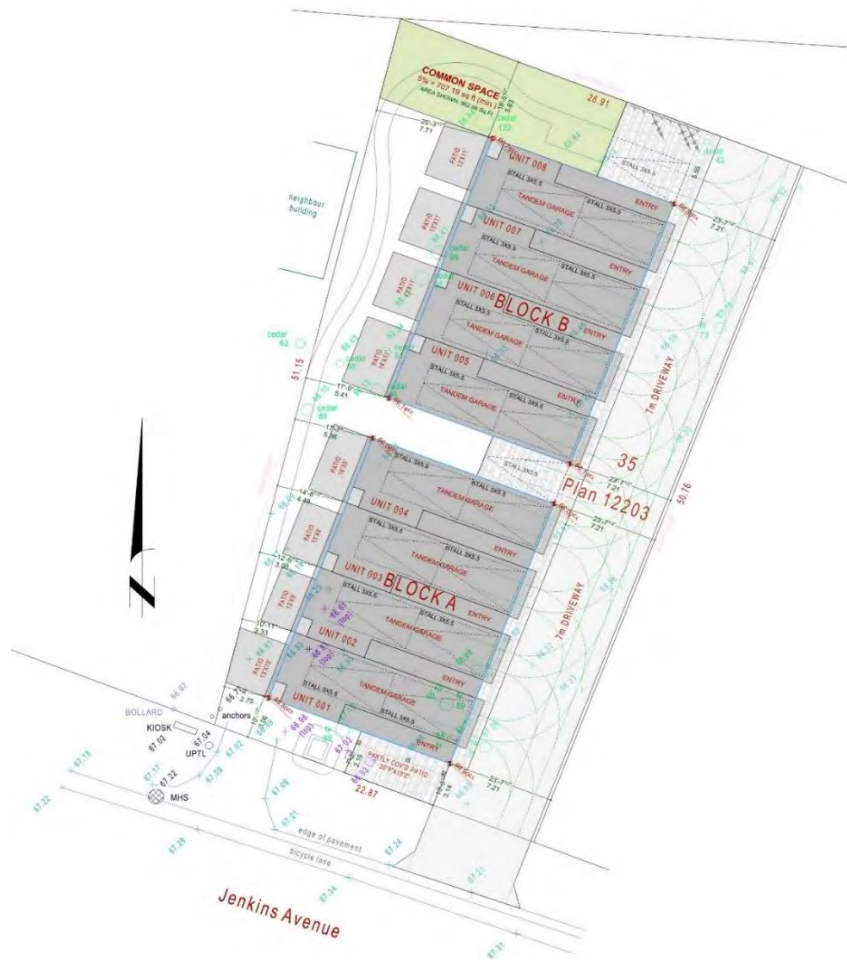
As noted above, the applicant is proposing to rezone the subject property from R2 (One-and Two-Family Residential) to RT1 (Residential Townhouse) to allow for approximately 8 townhouse units within two separate blocks, as shown on a site plan below (Figure 2). The existing established single-family dwelling will be demolished to accommodate this proposal.

Each proposed townhouse unit is 3 storeys in height, featuring ground level single-wide double garages and two storeys of living space above, large enough to accommodate 3-bedroom layouts. The garages are designed to allow for some minor storage and secure bike parking while still maintaining required parking spaces for the specified purpose. To remain consistent with townhouse developments that have been recently rezoned, Council may wish to require that garages are to be used for parking of vehicles

and not the storage of items in a manner that would prevent utilization of the garage space for parking purposes. This requirement should be secured through a Section 219 Covenant prior to Bylaw Adoption, in favour of the strata, so that they are responsible for enforcing the covenant instead of the City. In a similar manner, Council may also wish to secure a requirement of mandating the use of heat pumps for heating and cooling, to remain consistent with recent rezoning applications.

Each unit also contains approximately 10m<sup>2</sup> of ground level private outdoor space, and additional second storey balcony facing the strata road. Each private patio space further connects to a common outdoor amenity space at the rear of the subject site by a landscape path. The applicant has indicated that balconies are facing the strata road to provide more privacy for the immediate neighbours. The applicant will also be required to install a 1.8m privacy fence along all property lines that do not face Jenkins Avenue to screen the project from adjacent neighbouring properties.

**Figure 2: Proposed Site Plan**



The applicant has submitted a conceptual rendering of their proposal to better articulate the design and site layout, as it will be seen from the south side of Jenkins Avenue (Figure 3). The entryway for unit 001 of Block A is to face Jenkins Avenue to ensure that there is street presence on that highly visible façade, as per the objectives outlined in the Design Guidelines.

The design is also utilizing the projection allowance for the front entrance porch facing the street. In accordance with Section 3.18 of Zoning Bylaw 300, on lots equal or greater to 380m<sup>2</sup>, the setback for the porch may be reduced by no more than 1 meter. The proposal meets this objective by having the porch project into the required 3m setback by 0.81m, where the face of the building remains compliant with the 3m setback requirement. The rest of the townhouse units are to face the proposed strata road.

**Figure 3: Rendering of the Proposed Townhouse Development as seen from Jenkins Avenue**



The primary materials proposed are Hardie plank, board and batten, and shingle in neutral tones, with accent red front entrance doors for each unit. The final design, including finishing materials, will be secured through the Form and Character Development Permit.

**Table 3: Proposal Data**

	<b>Permitted by R2 (Current Zoning)</b>	<b>Permitted by RT1 (Proposed Zoning)</b>	<b>Proposed by Rezoning Application</b>
<i>Permitted Use</i>	Single-family homes and duplexes	Townhousing	Townhousing
<i>Density (FAR and/or min. lot size)</i>	400m <sup>2</sup>	1.2 FAR	0.81 FAR

<i>Height</i>	9 meters	3 storeys	3 storeys
<i>Site Coverage</i>	40% for lots under 550m <sup>2</sup> ; 30% for lots over 550m <sup>2</sup>	60%	43.22%
<i>Front Yard Setback</i>	3m except for a garage which must be 5.5m	3m except for a garage which must be 5.5m	3.06m for the face of the building, 2.19m for the porch
<i>Interior Side Yard Setback</i>	1.5m	1.2m	6.60m (east) 2.75m (west)
<i>Exterior Side Yard Setback</i>	3.0m except for a garage which must be 5.5m	3.5m except for a garage which must be 5.5m	N/A
<i>Rear Yard Setback</i>	5.5m	5.5m	5.5m
<i>Vehicle Parking Requirement</i>	2 parking spaces per unit	2 parking spaces per unit (16 total) + 2 visitor stalls	2 parking spaces per unit (16 total) + 2 visitor stalls
<i>Bicycle Parking Requirement</i>	N/A	1 per unit	1 per unit

**ARBORIST REPORT AND LANDSCAPING**

As noted previously, the applicant has provided an arborist report pertaining to the property, and it is attached to this report for reference. The arborist assessed all on-site trees as well as any surrounding trees that could potentially be impacted by the proposal. The report identifies that 14 trees on the subject property will need to be removed to accommodate this proposal.

One off-site tree (denoted OS1), situated close to the western property line of the subject site, is proposed to be retained and protected under the direct guidance of the project arborist. Critical root zone of the tree in question extends into the project site and may be affected by the removal of on-site trees within the footprint of the proposed development as well by construction activity. Council may wish to note that Form and Character Development Permit will require a letter of engagement from the project arborist prior to commencement of works on site, to ensure that mitigation strategies outlined in the report are adhered to.

Council may also wish to note that landscaping plan demonstrates 10 trees to be planted on site, which include Persian Ironwood, Serbian Spruce, Star Magnolia, and Columnar Flowering Plum. This will be in addition to street trees to be planted as part of frontage improvements, which are typically planted 12 meters apart.

**MULTI-MODAL NETWORK**

The subject site is located close to the intersection of Jenkins Ave with Jacklin Road, a major arterial road that connects traffic from the TransCanada Highway to Sooke Road. Many commercial businesses

including Belmont Market and West Shore Town Centre, are located east of Jacklin Road, within walking distance of the subject property. City Centre Park is located directly to the north and provides access to a variety of services and recreation facilities such as Eagle Ridge Community Centre, Westhills Ice Arena, Starlight Stadium, Play- Zone, Langford Lanes, Mini-Golf, seasonal outdoor skating rink, and more.

Both sides of Jenkins Avenue contain bicycle paths that lead to Jacklin Road, providing bicycle access to the downtown core and beyond. The subject site is also located in close proximity to Langford Lake Beach Park (15-minute walk, 4-minute bike ride), Glen Lake Beach Park (18-minute walk, 5-minute bike ride), and Belmont Secondary School (16-minute walk, 5-minute bike ride). Frontage improvements for the site will include a sidewalk, further improving pedestrian network connectivity in the area.

The site is located within 115 meters of local bus service, specifically the 54 Langford Exchange via Metchosin, 55 Happy Valley via Metchosin, and 59 Langford Exchange via East Sooke. Langford Exchange includes access to the Blink Rapid Bus Line 95, a key commuting service into downtown Victoria. More bus stops with various routes are also available closer to Jacklin Road.

**Figure 4: Ortho Map Showing Bike Lanes (purple lines), Sidewalks (pink lines), Trails (orange lines), and Bus Stops (blue icons):**



## INFRASTRUCTURE

### FRONTAGE IMPROVEMENTS

Full frontage improvements are required in accordance with Bylaw No. 1000 and to the satisfaction of the Director of Engineering prior to the issuance of a building permit. Of note, the Engineering Department has indicated that the proposal will be required to provide a sidewalk, streetlights, boulevard with street trees, as well as maintain the existing bike lane.

The applicant will be required to provide a Fire Underwriters Survey (FUS) report prepared by a professional Engineer to determine whether water flow is adequate for the proposal. A FUS will be required prior to building permit issuance. If any upgrades or improvements are required, all works are to be completed prior to issuance of a building permit, or a Servicing Agreement including security sufficient to complete the works must be provided. This requirement is to be secured by the means of Section 219 Covenant, prior to Bylaw Adoption.

### STORMWATER MANAGEMENT

The applicant will be required to provide a storm water management plan to the satisfaction of the Director of Engineering prior to the issuance of a building permit. As part of their application, the applicant has submitted a storm water technical memo outlining how they plan to adequately manage storm water on-site. This memo has been reviewed and approved by the Director of Engineering.

### SEWERS

A sewer main exists along Jenkins Avenue and a connection from the units to this main would be required. Any improvements, extensions, or modifications needed to the sewer main within the municipal road right-of-way will be completed by West Shore Environmental Services at the applicant's expense.

## CONSTRUCTION IMPACT MITIGATION

Council may wish to require a Construction Parking and Traffic Management Plan as a condition of rezoning and require that it be provided to the satisfaction of the Director of Engineering prior to any land alteration. Additionally, as per Bylaw 1000, Section 2.5, a Mitigation Plan is required prior to land alteration to the satisfaction of the Director of Engineering (this is an interim measure for all developments, until the Good Neighbour Policy is adopted). A Mitigation Plan is required where there are reasonable grounds to anticipate any discharge of contaminants, pollutants, silts, airborne particulates (dust) or materials (toxic or natural) to watercourses, municipal ditches and sewage systems, public or private lands, waters or the atmosphere. This requirement should be secured within a covenant, prior to Bylaw Adoption.

NEIGHBOURHOOD CONSULTATION

The applicant has noted to staff that they have distributed notices to the neighbourhood outlining the concept of the proposed development as well as providing their contact information to encourage neighbours to reach out with any questions or concerns. The applicant has further indicated that they conducted door-to-door canvassing a week after distributing the letters, to ensure neighbours concerns could be noted and addressed through the design choices where possible.

**FINANCIAL IMPLICATIONS:**

Rezoning the subject properties to permit higher density of development will increase the assessed value of lands and eventually will increase municipal revenue due to the number of units created. As the developer is responsible to complete all frontage improvements, the direct capital costs to the City associated with this development will be negligible. A summary of Amenity Contributions and Development Cost Charges that the developer will be expected to pay, is outlined in Tables 4 and 5 below.

COUNCIL’S AMENITY CONTRIBUTION POLICY

The amenity contributions that apply as per Council’s current Affordable Housing and Amenity Contribution Policy are summarized in Table 4 below, based the current floor plans and total density of 8 residential units.

**Table 4 – Amenity Contributions per Council Policy**

<b>Amenity Item</b>	<b>Per unit contribution</b>	<b>Total (based on 8 units)</b>
<i>General Amenity Reserve Fund</i>	\$3,660	\$29,280
<i>Affordable Housing Reserve Fund</i>	\$610	\$4,880
<b>TOTAL POLICY CONTRIBUTIONS</b>	<b>\$4,270</b>	<b>\$34,160</b>

**Table 5 - Development Cost Charges**

<b>Development Cost Charge</b>	<b>Per Unit Contribution</b>	<b>Total (based on 8 units)</b>
<i>Roads</i>	\$3,865 per	\$30,920
<i>Park Improvement</i>	\$1,948	\$15,584
<i>Park Acquisition</i>	\$130	\$1,040
<i>ISIF</i>	\$371.25	\$2,970
<b>Subtotal (DCC’s to Langford)</b>	<b>\$6,314.25</b>	<b>\$50,514</b>
<i>CRD Water</i>	\$1,644	\$13,152

<i>School Site Acquisition</i>	\$800	\$6,400
<b>TOTAL DCC's (estimated)</b>	<b>\$8,758</b>	<b>\$70,066</b>

**LEGAL IMPLICATIONS:**

Should Council choose to proceed with this proposal, Bylaw No. 2161 will be scheduled for consideration of first, second and third readings. As per recent changes to the *Local Government Act*, a Public Hearing is not permitted.

The amenity contributions specified in Table 4 above are incorporated into Bylaw No. 2161 and will be payable at the time of building permit along with the current Development Cost Charges specified in the various DCC Bylaws.

Council's other conditions of approval would be registered in a Section 219 Covenant in priority of all other charges on title prior to consideration of Bylaw Adoption.

**OPTIONS:**

**Option 1**

THAT the Sustainable Development Advisory Committee recommend that Council:

1. Proceed with consideration of First, Second, and Third Reading of Bylaw No. 2161 to amend the zoning designation of the property located at 960 Jenkins Avenue from R2 to RT1, after the notification process has been completed, and subject to the following terms and conditions:
  - a. That the applicant provides, **as a bonus for increased density**, the following contributions per dwelling unit, **prior to the issuance of a building permit**:
    - i. \$610 towards the Affordable Housing Reserve Fund; and
    - ii. \$3,660 towards the General Amenity Reserve Fund;
  - b. That the applicant, **prior to Bylaw Adoption**, registers a Section 219 covenant in priority of all other charges on title, that agrees to the following:
    - i. That the following will be provided and implemented to Bylaw No. 1000 standards to the satisfaction of the Director of Engineering prior to the issuance of a building permit:
      1. Full frontage improvements;
      2. A storm water management plan; and

- ii. That a Construction Parking and Traffic Management Plan and Mitigation Plan in accordance with Bylaw 1000 Section 2.5 be provided to the satisfaction of the Director of Engineering prior to any alteration of the land.
- iii. That the developer will submit Fire Underwriters Survey (FUS) calculations prior to issuance of a building permit, and any required improvements and/or upgrades to on site and off-site infrastructure necessary to facilitate proper water supply for the proposed development are to be completed as part of frontage improvements at the applicant's expense.
- iv. That electric heat pumps will be installed in all townhouse units.
- v. That a separate covenant be registered prior to the registration of a strata plan for the proposed development agreeing that garages are to be used for the parking of vehicles and not the storage of items preventing the parking of vehicles therein, in favour of the strata.
- vi. That tree protection measures, inclusive of tree protection fencing, are implemented prior to commencement of work to protect the tree identified for retention in the arborist report throughout the construction period.
- vii. That all concrete used on-site will utilize ready-mix concrete that meets or exceeds the weighted average Global Warming Potential targets based on Concrete BC Baseline (average) mix data, and that prior to the issuance of a Building Permit the applicant shall provide a Tyle III Environmental Product Declaration that is 3<sup>rd</sup> party verified specifying the total Global Warming Potential value and confirming that the proposed development meets the requirements of Low Carbon Concrete Policy POL-0167-PLAN;

**OR Option 2**

THAT the Sustainable Development Advisory Committee recommend that Council take no action with respect to this application to rezone 960 Jenkins Road under Bylaw No. 2161 until such time as the following items are addressed and reviewed by the Sustainable Development Advisory Committee:

- a. \_\_\_\_\_;
- b. \_\_\_\_\_;
- c. \_\_\_\_\_;

**SUBMITTED BY: Anastasiya Mysak, Planner I**

**Concurrence:** Leah Stohmann, MCIP, RPP, Deputy Director of Planning and Subdivision

**Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development

**Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities

**Concurrence:** Matthew Baldwin, MCIP, RPP, Director of Planning and Subdivision

**Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works

**Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance

**Concurrence:** Marie Watmough, Deputy Director of Corporate Services

**Concurrence:** Braden Hutchins, Director of Corporate Services

**Concurrence:** Darren Kiedyk, Chief Administrative Officer

Attachment(s):

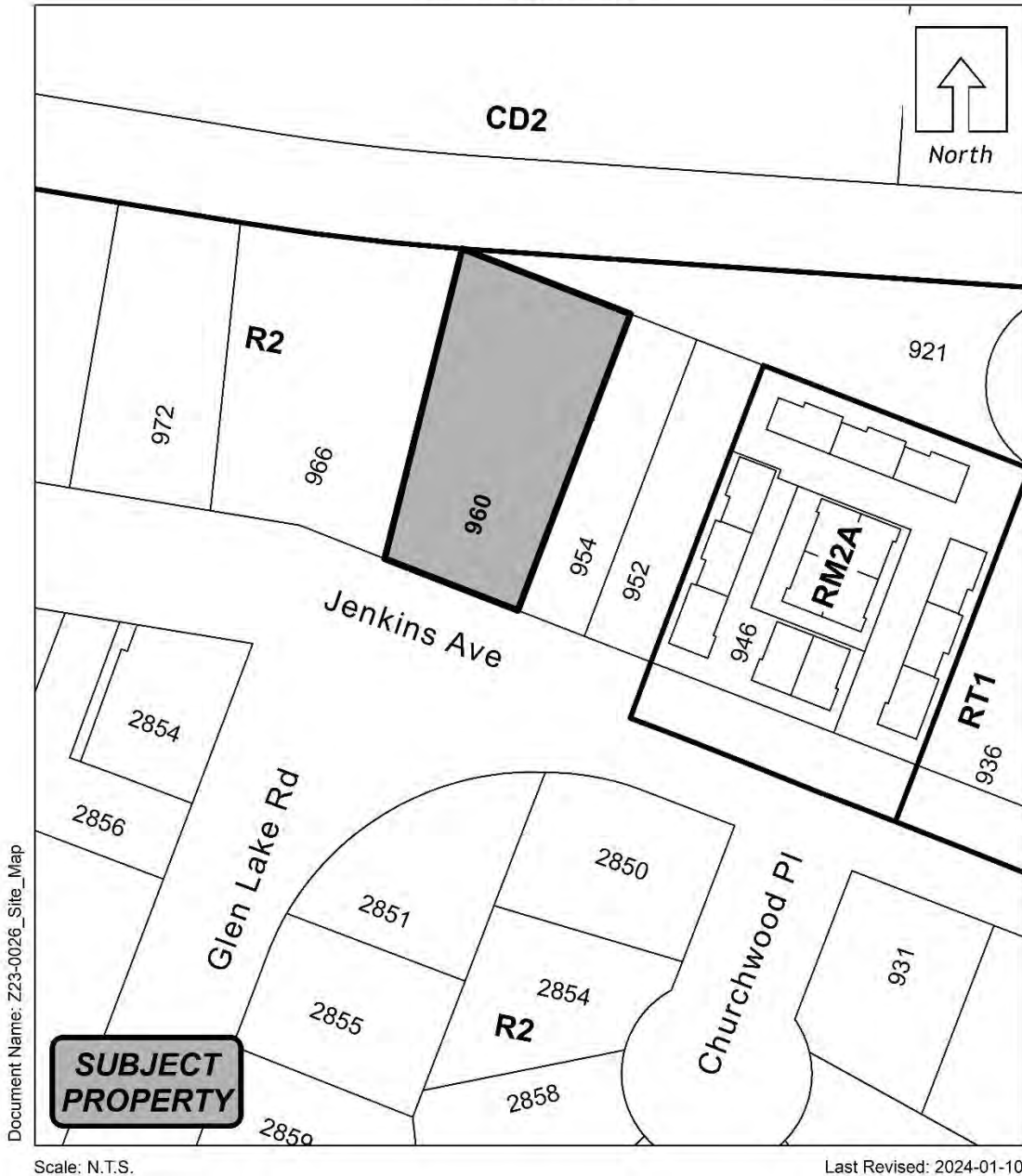
Proposed Site Plan (960 Jenkins Avenue)

Proposed Landscape Plan (960 Jenkins Avenue)

Arborist Report (960 Jenkins Avenue)

Appendix A – Site Map

**REZONING BYLAW AMENDMENT  
( Z23-0026 )  
960 Jenkins Ave**



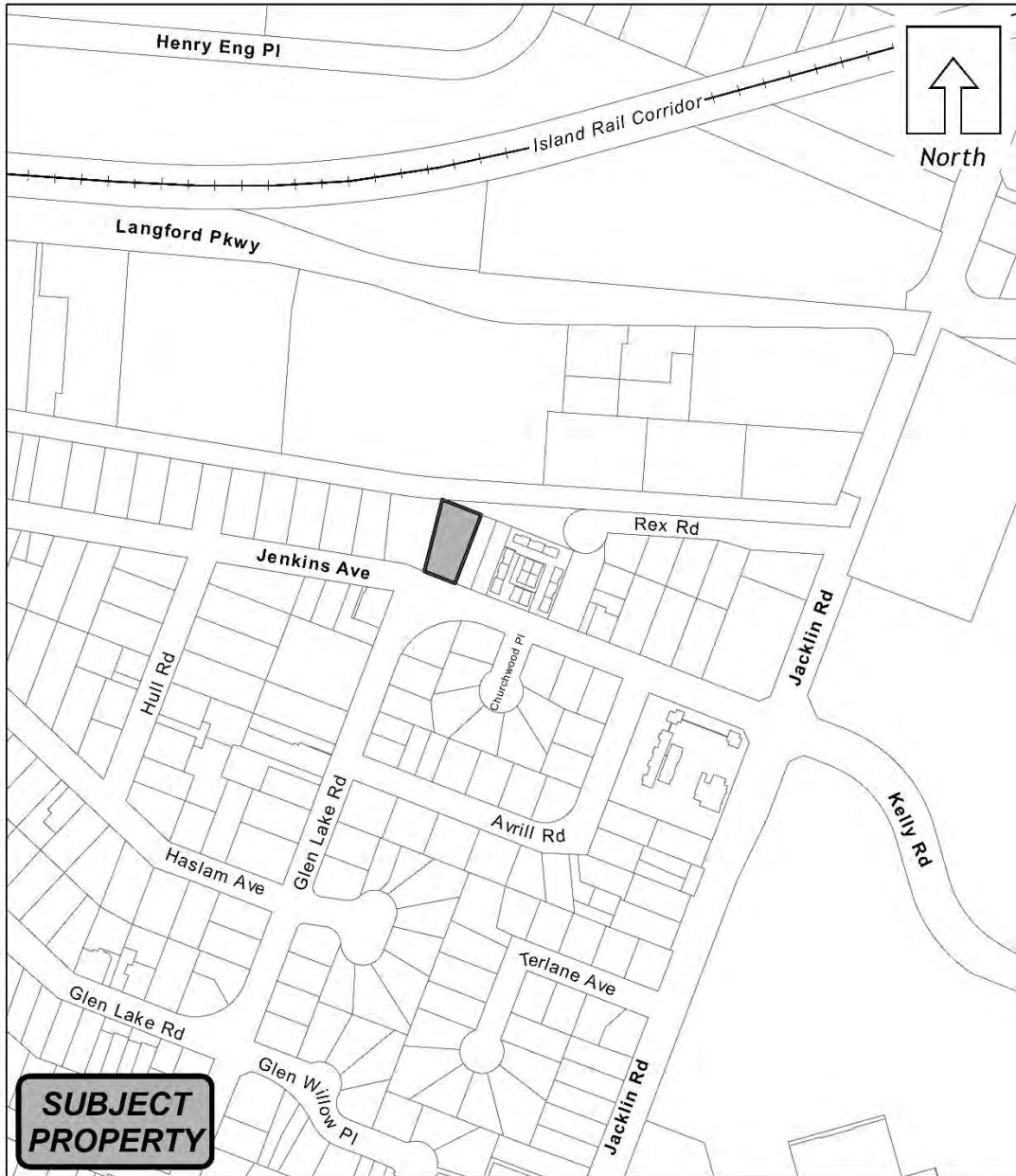
Document Name: Z23-0026\_Site\_Map

Scale: N.T.S.

Last Revised: 2024-01-10

Appendix B – Location Map

**REZONING BYLAW AMENDMENT**  
**( Z23-0026 )**  
**960 Jenkins Ave**



Document Name: Z23-0026\_Location\_Map

Scale: N.T.S.

Last Revised: 2024-01-10

# BC LAND SURVEYORS SITE PLAN OF:

Civic: 960 Jenkins Avenue

Legal Lot 35, Section 80,

Esquimalt District, Plan 12203

Parcel Identifier: 004-973-267  
in the City of Langford

## LEGEND

Elevations are geodetic and referenced to the CVD28BC datum.

### + - denotes - existing elevation

UPTL ○ - denotes - utility pole w/ light and transformer

MHS ⊗ - denotes - manhole sewer

Tree diameters are in centimetres.

Lot Area = 1314 m<sup>2</sup>

The following non-financial charges are shown on the current title and may affect the property.

285053G - Restrictive Covenant

Setbacks are derived from field survey.

Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

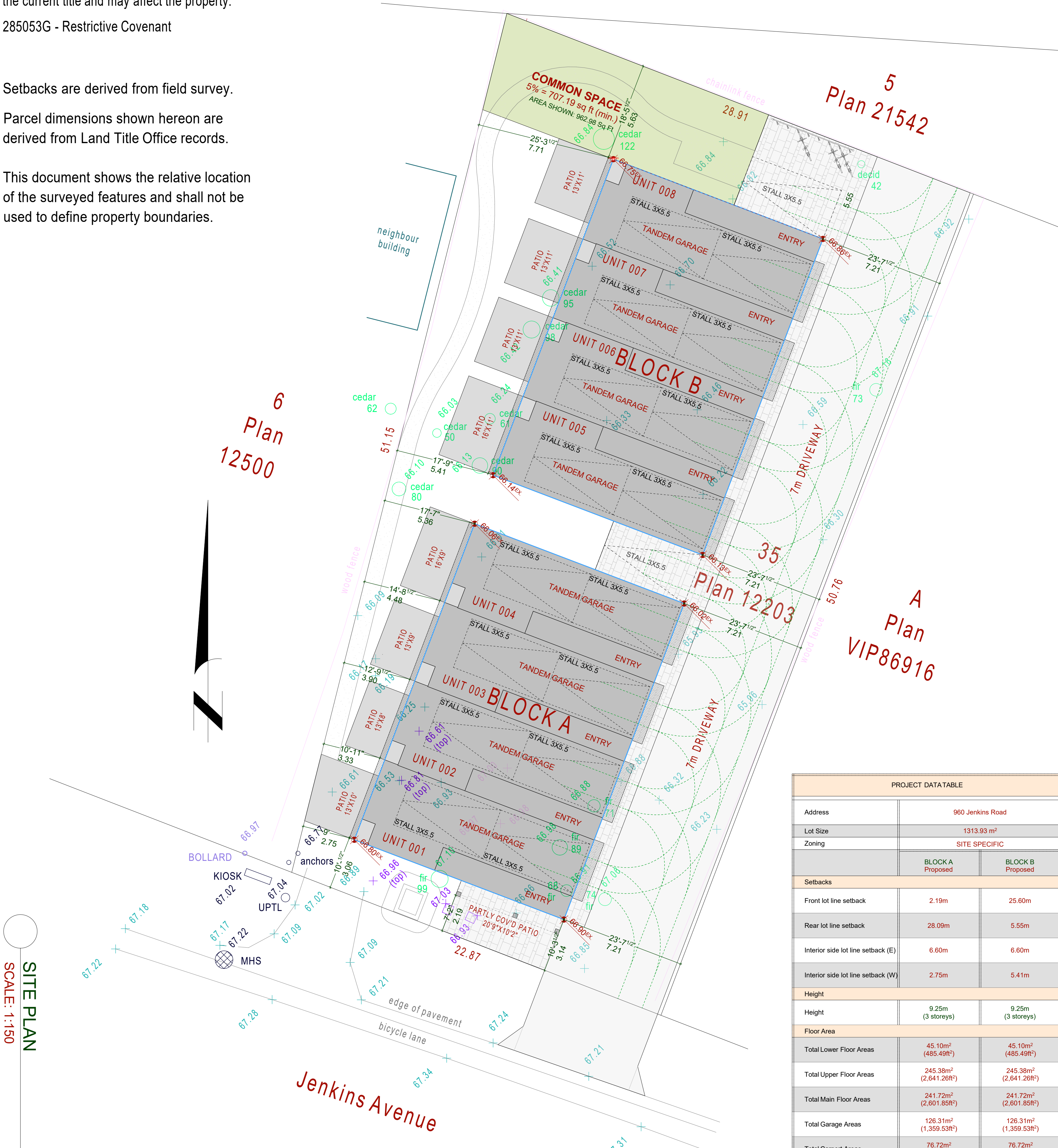
Parcel 1  
Plan VIP78546

5  
Plan 21542

6  
Plan 12500

35  
Plan 12203

A  
Plan VIP86916



SITE PLAN  
SCALE: 1:150

Date	August 22, 2023
File	14101-128W
<b>V.I. POWELL &amp; ASSOCIATES</b>	
BC Land Surveyors	
250-2950 Douglas Street	
Victoria, BC V8T 4N4	
phone (250) 382-8855	

Scale 1:250

All distances are shown in metres.  
Plot on 11" x 17" sheet

PROJECT DATA TABLE		
Address	960 Jenkins Road	
Lot Size	1313.93 m <sup>2</sup>	
Zoning	SITE SPECIFIC	
	BLOCK A Proposed	BLOCK B Proposed
Setbacks		
Front lot line setback	2.19m	25.60m
Rear lot line setback	28.09m	5.55m
Interior side lot line setback (E)	6.60m	6.60m
Interior side lot line setback (W)	2.75m	5.41m
Height		
Height	9.25m (3 storeys)	9.25m (3 storeys)
Floor Area		
Total Lower Floor Areas	45.10m <sup>2</sup> (485.49ft <sup>2</sup> )	45.10m <sup>2</sup> (485.49ft <sup>2</sup> )
Total Upper Floor Areas	245.38m <sup>2</sup> (2,641.26ft <sup>2</sup> )	245.38m <sup>2</sup> (2,641.26ft <sup>2</sup> )
Total Main Floor Areas	241.72m <sup>2</sup> (2,601.85ft <sup>2</sup> )	241.72m <sup>2</sup> (2,601.85ft <sup>2</sup> )
Total Garage Areas	126.31m <sup>2</sup> (1,359.53ft <sup>2</sup> )	126.31m <sup>2</sup> (1,359.53ft <sup>2</sup> )
Total Carport Areas	76.72m <sup>2</sup> (825.81ft <sup>2</sup> )	76.72m <sup>2</sup> (825.81ft <sup>2</sup> )
Gross floor area	532.20 m <sup>2</sup> (5,728.60ft <sup>2</sup> )	532.20 m <sup>2</sup> (5,728.60ft <sup>2</sup> )
Floor Area Ratio	0.405 532.20m <sup>2</sup>	0.405 532.20m <sup>2</sup>
Combined Floor Area Ratio	0.81 1,064.40m <sup>2</sup>	
Lot coverage		
Lot Coverage	21.61% 283.94m <sup>2</sup>	21.61% 283.94m <sup>2</sup>
Lot Coverage of all buildings and structures	43.22% 567.88m <sup>2</sup>	
Common Space (min 5% of lot area)	89.46m <sup>2</sup> (962.98ft <sup>2</sup> )	
Off-Street Parking		
Required Number of Off-Street Parking Spaces	16 spaces + 2 spaces /Visitor Parking/	

**JAVA DESIGNS**  
WHERE LINES ON PAPER BECOME WALLS ON SITE  
PH 250.590.2468 FX 250.590.4577 www.javadesigns.ca

ISSUE DATE: JAN 05, 2024  
DRAWN BY: NS  
CHECKED BY: KL

DRAWING NAME: SITE PLAN AND PROJECT DATA BOX FOR REZONING  
DRAWING SCALE: SEE DRAWINGS

CUSTOMER: VAN ISLE LIVING LTD  
ADDRESS: 960 JENKINS RD, LANGFORD BC

FOR REZONING APPLICATION / DISCUSSION - NOT FOR CONSTRUCTION

**MASS REQUIREMENTS:**  
Performance Grade of 30  
Water Test Pressure of 260 Pa

**GENERAL NOTES:**  
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.  
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.  
DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.  
SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR.

**SITE PLAN:**  
ALL LAYOUTS SHOULD BE CONFORMED BY A REGISTERED P.E. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFORMED BY THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.  
CONCRETE AND FOUNDATIONS:  
ALL CONCRETE FOOTINGS SHALL BE SOLID BEARING ON COMPACTED, PENETRATION.  
IF SOFTEN CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DETERMINED BY A QUALIFIED ENGINEER. GARAGE & CARPORT FLOORS AND EXTENSION STEPS SHALL NOT BE LESS THAN 32 MPA.  
FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2000 psi (138 MPa) AT 28 DAYS. MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3488.  
ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

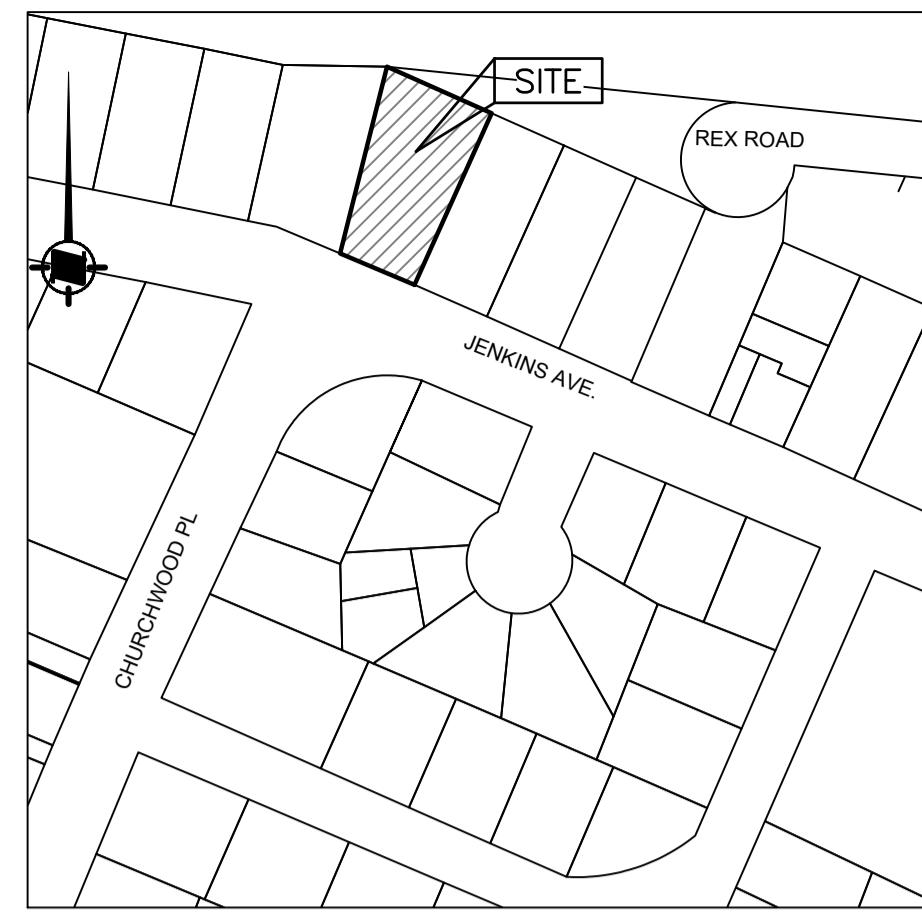
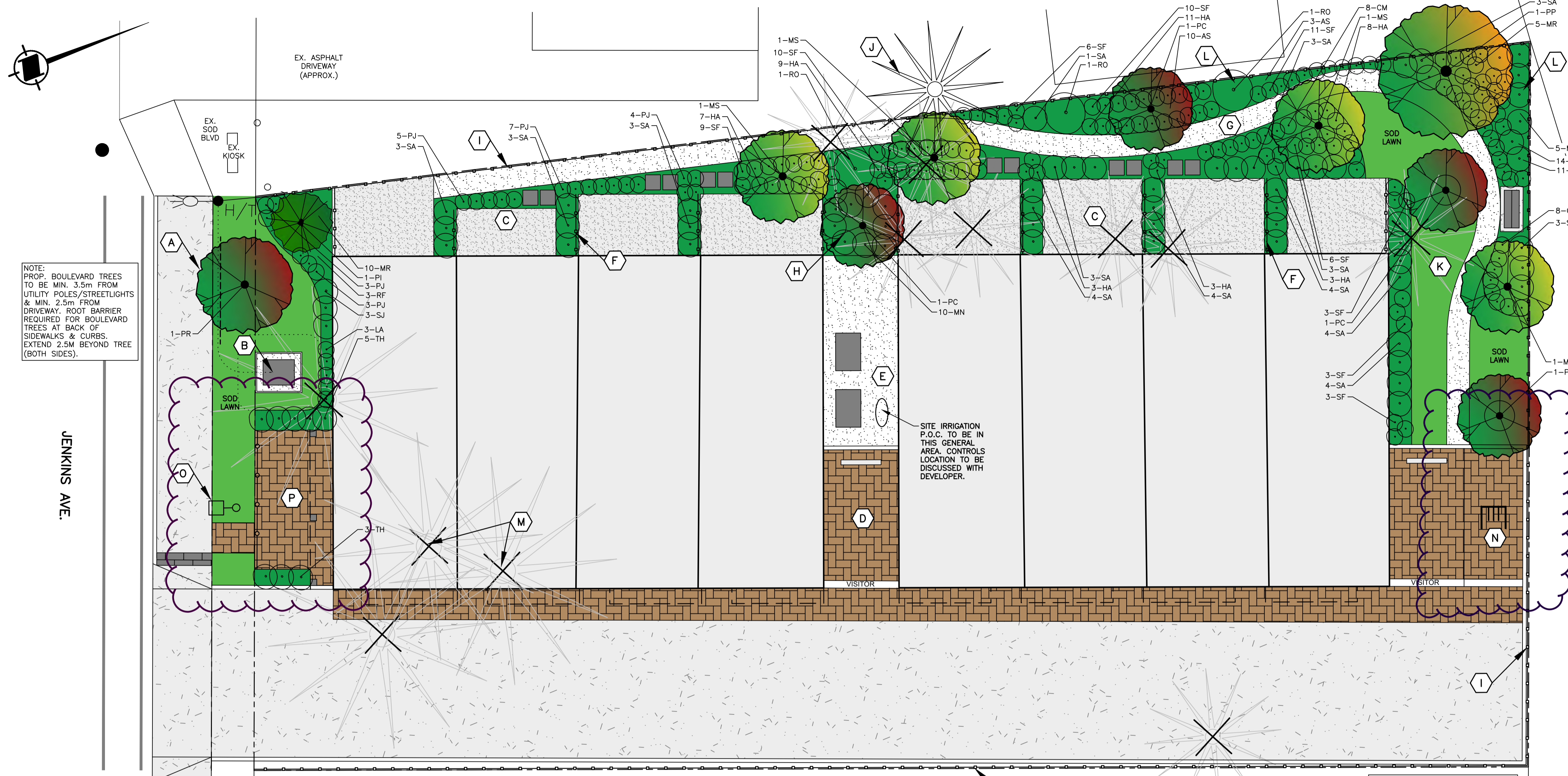
**LUMBER FRAMING AND BEAMS:**  
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIA. ANCHOR BOLTS AT NOT MORE THAN 24M O.C.  
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.  
ALL SPANS SHALL CONFORM TO THE TABLE SET OUT IN THE SPAN BOOK AND THE NATIONAL BUILDING CODE OF CANADA AND ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

**TRUSSES:**  
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACKETS.  
ROOFING:  
ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.  
FLASHING AND ELECTRICAL:  
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

**FLASHING:**  
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL PROVEN (OR TESTED) FLASHINGS SHALL INCLUDE APPROPRIATE FLASHING.  
DOORS:  
ROUGH OPENING SIZES:  
DOORS: FRAME HEIGHT 81" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1" WIDER THAN BRIFOLD DOORS AND FRAME HEIGHT 81".  
MISC:  
CARBON MONOXIDE ALARMS TO BE HANGING AND WITHIN 9M OF EACH ROOM. CARBON MONOXIDE ALARMS TO CONFORM TO CAN5315.

**NEITHER JAVA DESIGNS INC NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:**  
- INFORMATION PROVIDED ON EXISTING BUILDINGS OR THE SITE.  
- SITE SURVEY.  
- ERRORS AND OMISSIONS.  
- PLANS DERIVED FROM THESE PLANS.

**SHEET NUMBER: A1**



KEY PLAN  
NOT TO SCALE

KEY NOTES

- A PROP. MUNICIPAL STREET TREE IN SOD BOULEVARD. TREE TO BE WATERED VIA MUNICIPAL IRRIGATION. POINT OF CONNECTION TO BE REVIEWED WITH CIVIL ENGINEER & LANGFORD PARKS. 1.2m<sup>2</sup> MULCH RING REQUIRED.
- B PROP. BC HYDRO PMT LOCATION. NO PLANTING TO BE WITHIN 1.2m OF PMT PER BC HYDRO STANDARDS. ANTI-GRAFFITI VINYL WRAP REQUIRED. IMAGE/COLOUR TO BE REVIEWED BY DEVELOPER.
- C PRIVATE REAR YARD C/W CONCRETE PATIO, STEPPING SLAB CONNECTION TO RESIDENT PATHWAY, PLANTING BED & WOODEN PRIVACY SCREEN.
- D VISITOR PARKING STALL C/W UNIT PAVING & WHEELSTOP. REFER TO DRAWINGS BY OTHERS FOR DETAILED INFORMATION. FRONT OF STALL TO BE PAINTED 'VISITOR'.
- E CRUSHED ROCK GRAVEL SIDEYARD C/W SITE IRRIGATION POINT OF CONNECTION (P.O.C.) UTILITY BOXES & ACCESS TO SPRINKLER ROOM IN BUILDING. WEED BARRIER FABRIC REQUIRED. TIMBER EDGER STAKED AT 450mm O.C. REQUIRED AT PLANTING BEDS.
- F 1.5m Ht. WOOD PRIVACY SCREEN FENCE. TYPICAL.
- G 900mm (3 FEET) WIDE CRUSHED ROCK GRAVEL RESIDENT PATHWAY TO REAR PATIOS. BENDERBOARD EDGER REQUIRED ADJACENT PLANTING BEDS & LAWN.
- H PLANTING BED C/W SMALL FLOWERING ACCENT TREES, MEDIUM SIZED COLUMNAR FORM ACCENT TREES AND LOW MAINTENANCE & NATIVE SHRUBS.
- I 1.8m Ht. PERIMETER WOOD FENCE ON PROPERTY LINE.
- J EXISTING TREE TO BE PROTECTED & RETAINED. TREE PROTECTION FENCING REQUIRED DURING CONSTRUCTION. ANY WORK WITHIN CRITICAL ROOT ZONE TO BE DONE UNDER DIRECT SUPERVISION OF DEVELOPER'S ARBORIST.
- K RESIDENT AMENITY AREA C/W ACTIVITY OR PET RELIEF LAWN, SEATING BENCH & SPECIMEN TREES.
- L PERIMETER PLANTING BED C/W ACCENT TREES, NATIVE & DROUGHT TOLERANT SHRUBS & ACCENT PLANTS. THREE (3) BIRD BOXES TO BE INSTALLED ON FENCE.
- M EXISTING TREE TO BE REMOVED, TYPICAL.
- N SHORT TERM/VISITOR BIKE PARKING. PLACEMENT TO ALLOW FOR DOUBLE LOADING OF BIKE RACK. SECURE RACK WITH TAMPER-PROOF HARDWARE.
- O PROPOSED STREET LIGHT LOCATION. (DESIGN BY OTHERS).
- P UNIT 1 PRIVATE ENTRANCE PATIO C/W UNIT PAVERS, CEDAR HEDGE & 1.2m Ht. WOOD PRIVACY SCREEN WITH GATE. 1.2m WIDE ACCESS WALKWAY PAVERS TO MATCH PATIO.

LANDSCAPE CONCEPT PLAN  
SCALE 1:100

NOTE: BOULEVARD TREES TO BE MIN. 3.5m FROM UTILITY POLES/STREETLIGHTS & MIN. 2.5m FROM DRIVEWAY. ROOT BARRIER REQUIRED FOR BOULEVARD TREES AT BACK OF SIDEWALKS & CURBS. EXTEND 2.5M BEYOND TREE (BOTH SIDES).

NOTE: REFER TO DRAWINGS BY OTHERS FOR SITE SERVICING, GRADING, & DETAILED FRONTAGE IMPROVEMENTS.

NOTICE: EXISTING & PROPOSED MUNICIPAL SERVICES ARE NOT SHOWN ON THIS DRAWING. REFER TO DRAWINGS BY OTHERS.

Plant List	Code	Qty.	Size
<b>Boulevard Trees:</b>			
Prunus cerasifera 'Pissardi' (Passardi Plum)	PR	1	5cm Cal.
<b>Site Trees:</b>			
Parrotia persica 'Vanessa' (Persian Ironwood)	PP	1	5cm Cal.
Picea omorika 'Bruns' (Serbian Spruce)	PI	1	3.0m Ht.
Magnolia stellata 'Royal Star' (Star Magnolia)	MS	4	2cm Cal.
Prunus cerasifera 'Crimson Pointe' (Columnar Flowering Plum)	PC	4	5cm Cal.
<b>Hedge:</b>			
Thuja occidentalis 'Smaragd' (Emerald Arborvitae)	TH	8	1.2m Ht.
<b>Shrubs:</b>			
Mahonia nervosa (Cascade Oregon Grape)	MN	15	#2 Pot
Mahonia repens (Creeping Oregon Grape)	MR	15	#1 Pot
Pieris japonica 'Cavatine' (Dwarf Lily-of-the-Valley)	PJ	30	#2 Pot
Polystichum munitum (Sword Fern)	SF	75	#1 Pot
Rhododendron 'Percy Wiseman' (Dwarf Pink Rhododendron)	RO	3	#5 Pot
Sarcococca humilis (Sweetbox)	SA	47	#2 Pot
<b>Accent Plants, Perennials &amp; Grasses</b>			
Astilbe chinensis (Chinese Astilbe)	AS	13	#1 Pot
Carex morrowii 'Evergold' (Sedge)	CM	27	#2 Pot
Hakonechloa macra 'Aureola' (Japanese Forest Grass)	HA	44	#1 Pot
Lavandula angustifolia var. Hidcote (Blue Lavender)	LA	5	#2 Pot
Pennisetum alopecuroides 'Hamein' (Dwarf Fountain Grass)	PE	2	#2 Pot
Rudbeckia fulgida 'Goldstrum' (Black-eyed Susan)	RF	3	#2 Pot
Spiraea japonica 'Double Play Pink' (Japanese Spirea)	SJ	3	#2 Pot

Notes:  
1. Plants to be irrigated with an automatic irrigation system.  
2. Changes to plant size, quantity, or type to be & approved in writing by Calid Services Ltd.

ATTENTION:  
PER LANGFORD BY-LAW 1000 ONE (1) NEW BOULEVARD TREE IS REQUIRED FOR EVERY 12m OF PROJECT FRONTAGE.  
TOTAL PROJECT FRONTAGE = 23m  
TOTAL BOULEVARD TREES REQUIRED = 2

GENERAL NOTES

- ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH LANGFORD SPECIFICATIONS, BY-LAW 1000 (SUBDIVISION DEVELOPMENT SERVICING) AND STANDARD DRAWINGS, MMCD SPECIFICATIONS AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
- ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF LANDSCAPE AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0% FINISHED GRADE OF ALL PLANTING BEDS TO BE MIN. 50mm BELOW ARCHITECTURAL FINISHES ON BUILDING.
- CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
- CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED RIGID CONSTRUCTION FENCING.
- EXISTING & PROPOSED UNDERGROUND SERVICES ARE NOT SHOWN ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY EXCAVATIONS.
- FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE THEIR CREW HAS THE MOST CURRENT LANDSCAPE DRAWINGS IN THE FIELD.
- AUTOMATIC DRIP IRRIGATION SYSTEM WITH RAIN DELAY & TIMER REQUIRED FOR PROJECT. ONSITE IRRIGATION POINT OF CONNECTION TO BE REVIEWED WITH DEVELOPER'S IRRIGATION CONTRACTOR, CIVIL ENGINEER & CALID SERVICES LTD.
- STREET TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM TO LANGFORD BY-LAW 1000 STANDARDS. STREET TREES TO HAVE TWO (2) EMITTER LOOPS. POINT OF CONNECTION TO BE REVIEWED WITH LANGFORD PARKS PRIOR TO BUILDING PERMIT SUBMISSION. LANGFORD PARKS TO CONFIRM IF MUNICIPAL IRRIGATION REQUIRED FOR SOD BOULEVARD.
- HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT. 1.2m<sup>2</sup> MULCH RINGS REQUIRED FOR ALL TREES IN SOD LAWN.
- 150mm PVC IRRIGATION SLEEVES (WITH CAPS BOTH ENDS) REQUIRED AT ALL DRIVEWAYS, SIDEWALKS, WALLS, ETC. TO ENSURE ALL LANDSCAPE AREAS CAN BE CONNECTED TO IRRIGATION SYSTEM. CONTRACTOR TO STAKE & LABEL ALL SLEEVES IN FIELD FOR IRRIGATION CONTRACTOR.

REZONING ONLY  
Not for Construction



NOTICE: LANDSCAPE DESIGN IS ONLY VALID IF REVIEWED DURING CONSTRUCTION BY CALID SERVICES LTD.  
THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

CALID SERVICES LTD. PREPARED THIS DRAWING FOR THE LISTED CLIENT ONLY AND ACCEPTS NO RESPONSIBILITY FOR THIRD PARTY USE.

Dwg. No.	REFERENCE DRAWINGS	DATE

LEGEND	
	PROP. TREES
	PROP. SHRUBS
	WOOD PANEL FENCE
	1.2m Ht. WOOD PRIVACY SCREEN

	CRUSHED ROCK GRAVEL AREA
	PROP. CONCRETE SIDEWALK (DESIGN BY OTHERS)
	PROP. UNIT PAVING
	PROP. PLANTING BED
	PROP. SOD LAWN

REV.	DATE	REVISIONS	BY	APPROVED
2	JAN 10/24	TO LANGFORD COMMENTS	DP	
1	NOV 16/23	TO CLIENT COMMENTS	DP	



960 JENKINS AVENUE  
Landscape Plan & Notes  
Client: Proteryx Construction Ltd

**CALID** Services Ltd.  
207-2750 QUADRA ST.  
VICTORIA, B.C. V8T 4E8  
PHONE: (250) 381-6919  
FAX: (250) 381-6919  
engineer@calid.ca

Drawn	dp	Date	November 3, 2023
Checked		Project #	0944
Approved		Scale	1:100
Designed	dp		

L1

Rev. 2

CANCEL PRINTS BEARING EARLIER LETTER



**TALMACK**  
URBAN FORESTRY  
— Consultants Limited —

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6  
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Email: Trees@Talmack.ca

**960 JENKINS AVENUE**  
**—LANGFORD, BC**

**CONSTRUCTION IMPACT ASSESSMENT &  
TREE MANAGEMENT PLAN**

PREPARED FOR: Proteryx Construction Ltd  
1895 Trincomali Terrace  
North Saanich, BC  
V8L 5A3

PREPARED BY: Talmack Urban Forestry Consultants Ltd.  
Robert McRae – Consulting Arborist  
ISA Certified # PN-7125A  
Tree Risk Assessment Qualified  
Tree Appraisal Qualified Technician

DATE OF ISSUANCE: September 5th, 2023

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## APPENDICES

Appendix A Tree Management Plan (T1)

## REVISION RECORD

REVISION	DESCRIPTION	DATE (YYYY-MM-DD)	ISSUED BY
0	Original TMP report for the proposed construction.	2023-09-05	CC
1	Revised TMP report based on new concept plans given	2023-10-30	CC

# 1. INTRODUCTION

Talmack Urban Forestry Consultants Ltd. was engaged to complete a tree inventory, construction impact assessment and tree management plan for the trees at the following proposed project:

Site:	960 Jenkins Avenue
Municipality	City of Langford
Client Name:	Proteryx Construction Ltd
Dates of Site Visit(s)	August 24th, 2023 (initial inventory)
Site Conditions:	1 residential lot with no ongoing construction activity.
Weather During Site Visit:	Sunny

The purpose of this report is to address requirements of the City of Langford arborist report terms of reference and Tree Protection Bylaw No. 2117. The construction impact assessment section of this report (section 8) is based on plans reviewed to date, including site survey by Powell & Associates Land Surveying Inc. (dated August 22, 2023), and conceptual plans by Java designs (Dated October 23<sup>rd</sup>, 2023).

# 2. TREE INVENTORY METHODOLOGY

For the purposes of this report: the size, health, and structural condition of trees were documented. For ease of identification in the field, numerated metal tags are attached to the lower trunks of onsite trees. Trees located on neighbouring properties, the municipal frontage or in areas where access was restricted, were not tagged. Each tree was visually examined on a limited visual assessment basis (level 1), in accordance with Tree Risk Assessment Qualification (TRAQ) methods (Dunster *et al.* 2017) and ISA Best Management Practices.

# 3. EXECUTIVE SUMMARY

Based on review of the building plans provided by Java Design (October 23<sup>rd</sup>, 2023) fourteen (14) on-site trees (20cm DBH or above, as defined by Bylaw No. 2117), are recommended for removal due to impacts from the proposed construction. One off-site tree is possible for retention, provided mitigation measures (outlined in Section 8) are followed.

# 4. TREE INVENTORY DEFINITIONS

**Tag:** Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are not tagged.

**NT:** No tag due to inaccessibility or ownership by municipality or neighbour.

**DBH:** Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

\* Measured over ivy

~ Approximate due to inaccessibility or on neighbouring property

**Dripline:** Indicates the radius of the crown spread measured in metres to the dripline of the longest limbs.

**Relative Tolerance Rating:** Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not consider individual tree characteristics, such as health and vigor. Three ratings are assigned based on our knowledge and experience with the tree species: Poor (P), Moderate (M) or Good (G).

**Critical Root Zone:** A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 10, 12 or 15 depending on the tree's Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book "Trees and Development: A Technical Guide to Preservation of Trees During Land Development."

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

To calculate the critical root zone, the DBH of multiple stems is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. It should be noted that these measures are solely mathematical calculations that do not consider factors such as restricted root growth, limited soil volumes, age, crown spread, health, or structure (such as a lean).

**Health Condition:**

- Poor – significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair – signs of stress
- Good – no visible signs of significant stress and/or only minor aesthetic issues

**Structural Condition:**

- Poor – Structural defects that have been in place for an extended period of time to the point that mitigation measures are limited
- Fair – Structural concerns that are possible to mitigate through pruning
- Good – No visible or only minor structural flaws that require no to very little pruning

Suitability ratings are described as follows:

**Rating: Suitable.**

- A tree with no visible or minor health or structural defects, is tolerant to changes to the growing environment and is a possible candidate for retention provided that the critical root zone can be adequately protected.

**Rating: Conditional.**

- A tree with good health but is a species with a poor tolerance to changes to its growing environment or has a structural defect(s) that would require that certain measures be implemented, in order to consider it suitable for retention (i.e., retain with other codominant tree(s), structural pruning, mulching, supplementary watering, etc.)

**Rating: Unsuitable.**

- A tree with poor health, a major structural defect (that cannot be mitigated using ANSI A300 standards), or a species with a poor tolerance to construction impacts, and unlikely to survive long term (in the context of the proposed land use changes).

**Retention Status:**

- Remove (X) – Not possible to retain given proposed construction plans
- Retain – It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our recommended mitigation measures are followed
- Retain \* - See report for more information regarding potential impacts
- TBD - Retention status “to be determined” at the time of construction

Table 1. Tree Inventory

Tag or ID #	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw defined? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
1676	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	92	14	13.8	Poor	Good	Good	Unsuitable	Crown raised historically.	Conflict with proposed building footprint.	X
1677	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	66	11	9.9	Poor	Fair-good	Fair	Unsuitable	Deflected leader, epicormics on trunk, pitch production lower trunk.	Within proposed building footprint.	X
1678	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	72	13	10.8	Poor	Fair-good	Fair-good	Unsuitable	Epicormics on trunk, crown raised historically.	Within footprint of proposed strata road.	X
1679	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	89	14	13.4	Poor	Fair-good	Fair-good	Unsuitable	Epicormics on trunk, some extended limbs.	Within proposed building footprint.	X
1680	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	68	11	10.2	Poor	Fair-good	Fair	Unsuitable	Asymmetrical crown, end-weighted limbs over existing house, flat top,	Within proposed building footprint.	X
1681	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	~85	11	10.2	Moderate	Poor	Poor	Unsuitable	Dead top, multiple stems with included bark.	Conflict with proposed building footprint; poor condition.	X
1682	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	~80	10	9.6	Moderate	Poor	Poor	Unsuitable	Dead top, deadwood, fire damage. Secondary stems removed historically.	Conflict with proposed building footprint; poor condition.	X
1683	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	51 below union	8	6.1	Moderate	Fair-poor	Fair-poor	Unsuitable	Health stress, codominant, active inclusion at union, secondary stem dead.	Conflict with proposed building footprint; poor condition.	X
1684	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	62	11	7.4	Moderate	Poor	Poor	Unsuitable	Dead top, sloughing bark at base (sounded hollow).	Within proposed building footprint.	X
1685	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	99	14	11.9	Moderate	Fair-poor	Fair-poor	Unsuitable	Declining leaders, codominant structure with included bark in attachments. Two smaller stems dead with additional larger stem removed historically.	Within proposed building footprint.	X

1686	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	~100 below unions	12	12	Moderate	Poor	Poor	Unsuitable	Dead tops, quadridominant with included bark, end-weighted limbs.	Within proposed building footprint.	X
1687	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	120 below unions	14	14.4	Moderate	Fair-good	Fair-poor	Unsuitable	Tridominant with included bark in attachments.	Conflict with proposed building footprint.	X
1688	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	71	15	10.7	Poor	Fair-good	Fair-poor	Unsuitable	Codominant leaders with narrow attachment, extended/end-weighted limbs with recent large failures, lean south (correcting), fence installation adjacent (recently).	Within footprint of proposed strata road.	X
NT1	Yes	On-site	Yes	Douglas-fir	<i>Pseudotsuga menziesii</i>	~45	8	6.8	Poor	Fair-good	Fair	Unsuitable	Lean southwest, correcting, deadwood. Access to root collar restricted by blackberries.	Conflict with proposed strata road.	X
OS1	Yes	Off-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	65	10	7.8	Moderate	Fair-good	Fair-good	N/A	Some small deadwood.	Possible impacts from removal of adjacent trees; patio construction.	Retain*



## 7. TREE RISK ASSESSMENT

During our August 24th (2023), site visit and in conjunction with the tree inventory, on-site trees were assessed for risk on a limited visual basis (level 1), in the context of the existing land uses. The time frame used for the purpose of our assessment is one year (from the date of this report). Unless otherwise noted herein, we did not conduct a detailed (level 2) or advanced (level 3) risk assessment, such as resistograph testing, increment core sampling, aerial examinations, or subsurface root/root collar examinations.

### Existing Land Uses

We did not observe any trees that were deemed to be moderate, high, or extreme risk (in the context of the existing land uses, which would require hazard abatement to eliminate present and/or future risks) within a 1-year timeframe. Targets considered during this TRAQ assessment include: occupants of the existing residences on-site and neighbour's (constant use), occupants of vehicles travelling or parked on Jenkins avenue (frequent use), pedestrians travelling along the existing sidewalk along Jenkins avenue (frequent use), occupants of front, rear, and side yards on-site and neighbour's (occasional use), hydro lines (constant use).

## 8. CONSTRUCTION IMPACT ASSESSMENT

### 8.1. RETENTION AND REMOVAL OF ON-SITE TREES

---

The following bylaw-defined on-site trees (indicated by tag # or ID #) are located where they are likely to be severely impacted by construction and are proposed for removal:

#### Remove fourteen (14) on-site trees

- #1676-1688, NT1

#### 8.1.2. ADDITIONAL MITIGATION MEASURES FOR #1676-1688, NT1

---

The following trees (#1676-1688, NT1) will be exposed to various impacts if the trees are to be retained during demolition of existing house.

- Compaction
  - Use driveway as staging area to mitigate compaction around critical root zones of on-site trees. Avoid using heavy machinery in root zones if possible. Arborist supervision recommended during demolition to mitigate these concerns instead of erecting tree barrier fencing around every tree. Structures should be pulled away from trunks of trees if possible. Trees in back have sustained heavy compaction already. Pre-demolition meeting with contractor to go over details for mitigating compaction of existing trees recommended to avoid further damage.
  - Pre-existing Utilities to be decommissioned on property. If associated excavation or construction is within the critical root zone arborist supervision is recommended.

## 8.2. RETENTION AND REMOVAL OF OFF-SITE TREES

---

The following off-site trees (indicated by tag#) are located where they may be possible for retention providing that the critical root zones are adequately protected during construction. The project arborist must be on site to supervise any excavation or fill placement required within the critical root zones—shown on the tree management plan (T1) in **Appendix A**:

### Retain and protect one (1) off-site tree

- OS1

**\*Prior written consent from the tree owner(s) is required prior to the removal of any trees located on neighbouring properties.**

### 8.2.1. ADDITIONAL MITIGATION MEASURES FOR OS1

---

The following tree (OS1) will be exposed to various impacts during site construction for proposed land development of 960 Jenkins avenue:

- New wind exposure
  - OS1 is currently grouped in with existing trees (1681-1684) that are proposed for removal. Removal of 1681-1684 may expose OS1 to new wind dynamics, however these changes may not prove high concern but monitoring during high wind events is recommended as a proactive measure.
- Compaction
  - Compaction to soil within root zone can be caused by removal of surrounding trees, various heavy equipment for construction, stump removal and stump grinding. Barrier fencing should be erected and maintained (throughout construction timeframe) as specified on the TMP.
- Root damage
  - 1684 and 1682 are proposed to be removed and the remaining stump is expected to be removed via backhoe or excavator. Project Arborist should be on site during removal of 1682 & 1684's tree stumps to assess and reduce any potential damage that could be caused to OS1 roots.
- Removal's
  - Stumps of 1681 and 1683 to be grinded after removal and not removed due to potential for grafted roots from OS1 and to reduce disturbance in surrounding soil.

The health of the tree should also be monitored for changes during the construction timeframe. Any excavations within the CRZ should be supervised by the project arborist, including those related to patio and foundation installation of townhouses 4,5 and 6.

The plans used for writing this report are in the preliminary stages. Plans show the foundation and patio of townhouses 4, 5 and 6 in rootzone of OS1. If designs change by more than 1m or over-excavation is required beyond the west most proposed patio's (for townhouses 4, 5 and 6), the project arborist should be present for supervision. This action is taken as a proactive measure. We anticipate it is unlikely that we will see large roots from OS1 if 1m over excavation occurs due to root restrictions from the removed trees 1681-1684.

## 9. IMPACT MITIGATION

**Tree Protection Barrier:** The areas surrounding the trees to be retained should be isolated from the construction activity by erecting protective barrier fencing (see [Appendix A](#) for municipal barrier specifications). Where possible, the fencing should be erected at the perimeter of the critical root zone. The barrier fencing to be erected must be a minimum of 4 feet in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e., demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

**Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under supervision by the project arborist. Any severed or severely damaged roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound. In particular, the following activities should be completed under the direction of the project arborist:

- Any excavations or additions of fill within the CRZs of protected trees to be retained.
- During the removal of tree stumps of 1682 & 1684

**Methods to Avoid Soil Compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods:

- Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
- Placing medium weight geotextile cloth over the area to be used and installing a layer of crushed rock to a depth of 15-20 cm over top.
- Placing two layers of 19mm plywood.
- Placing steel plates.

**Demolition of the Existing Buildings:** The demolition of the existing houses, driveways, and any services that must be removed or abandoned, must take the critical root zone of the trees to be retained into account. If any excavation or machine access is required within the critical root zones of trees to be retained, it must be completed under the supervision and direction of the project arborist. If temporarily removed for demolition, barrier fencing must be erected immediately after the supervised demolition.

### **Paved Surfaces Above Tree Roots:**

If the new paved surfaces within the CRZ of tree to be retained require excavation down to bearing soil and roots are encountered in this area, this could impact their health and structural stability. If tree retention is desired, a

raised and permeable paved surface should be constructed in the areas within the critical root zone of the trees. The “paved surfaces above root systems” diagram and specifications is attached.

The objective is to avoid root loss and to instead raise the paved surface and its base layer above the roots. This may result in the grade of the paved surface being raised above the existing grade (the amount depending on how close roots are to the surface and the depth of the paving material and base layers). Final grading plans should take this potential change into account. This may also result in soils which are high in organic content being left intact below the paved area.

To allow water to drain into the root systems below, we also recommend that the surface be made of a permeable material (instead of conventional asphalt or concrete) such as permeable asphalt, paving stones, or other porous paving materials and designs such as those utilized by Grasspave, Gravelpave, Grasscrete and open-grid systems.

**Mulching:** Mulching can be an important proactive step in maintaining the health of trees and mitigating construction related impacts and overall stress. Mulch should be made from a natural material such as wood chips or bark pieces and be 5-8cm deep. No mulch should be touching the trunk of the tree. See “methods to avoid soil compaction” if the area is to have heavy traffic.

**Blasting:** Care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibration, and overall impact on the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.

**Scaffolding:** This assessment has not included impacts from potential scaffolding including canopy clearance pruning requirements. If scaffolding is necessary and this will require clearance pruning of retained trees, the project arborist should be consulted. Depending on the extent of pruning required, the project arborist may recommend that alternatives to full scaffolding be considered such as hydraulic lifts, ladders, or platforms. Methods to avoid soil compaction may also be recommended (see “Minimizing Soil Compaction” section).

**Landscaping and Irrigation Systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must consider the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.

**Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing
- Reviewing the report with the project foreman or site supervisor

- Locating work zones, where required
- Supervising any excavation within the critical root zones of trees to be retained
- Reviewing and advising of any pruning requirements for machine clearances

**Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

## 10. DISCLOSURE STATEMENT

This arboricultural field review report was prepared by Talmack Urban Forestry Consultants Ltd. for the exclusive use of the Client and may not be reproduced, used, or relied upon, in whole or in part, by a party other than the Client without the prior written consent of Talmack Urban Forestry Consultants Ltd. Any unauthorized use of this report, or any part hereof, by a third party, or any reliance on or decisions to be made based on it, are at the sole risk of such third parties. Talmack Urban Forestry Consultants Ltd. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, in whole or in part.

Arborists are professionals who examine trees and use their training, knowledge, and experience to recommend techniques and procedures that will improve a tree's health and structure or to mitigate associated risks. Trees are living organisms whose health and structure change and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. The arborist's review is limited to a visual examination of tree health and structural condition, without excavation, probing, resistance drilling, increment coring, or aerial examination. There are inherent limitations to this type of investigation, including, without limitation, that some tree conditions will inadvertently go undetected. The arborist's review followed the standard of care expected of arborists undertaking similar work in British Columbia under similar conditions. No warranties, either express or implied, are made as to the services provided and included in this report.

The findings and opinions expressed in this report are based on the conditions that were observed on the noted date of the field review only. The Client recognizes that passage of time, natural occurrences, and direct or indirect human intervention at or near the trees may substantially alter discovered conditions and that Talmack Urban Forestry Consultants Ltd. cannot report on, or accurately predict, events that may change the condition of trees after the described investigation was completed.

It is not possible for an Arborist to identify every flaw or condition that could result in failure, nor can he/she guarantee that the tree will remain healthy and free of risk. The only way to eliminate tree risk entirely is to remove the entire tree. All trees retained should be monitored on a regular basis. Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Immediately following land clearing, grade changes or severe weather events, all trees retained should be reviewed for any evidence of soil heaving, cracking, lifting or other indicators of root plate instability. If added information is discovered in the future during such events or other activities, Talmack Urban Forestry Consultants Ltd. should be requested to re-evaluate the conclusions of this report and to provide amendments as required prior to any reliance upon the information presented herein.

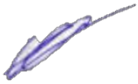
## 11. IN CLOSING

We trust that this report meets your needs. Should there be any questions regarding the information within this report, please do not hesitate to contact the undersigned.

Yours truly,

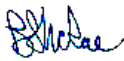
Talmack Urban Forestry Consultants Ltd.

Prepared by:



Craig Charton

ISA Certified Arborist PN-9812A



Robert McRae  
ISA Certified Arborist PN – 7125A  
Tree Risk Assessment Qualification  
Tree Appraisal Qualified Technician  
Email: Robbie@Talmack.ca

## 12. REFERENCES

Dunster, J.A., E.T. Smiley, N. Matheny, and S. Lily. 2017. Tree Risk Assessment Manual, International Society of Arboriculture (ISA).

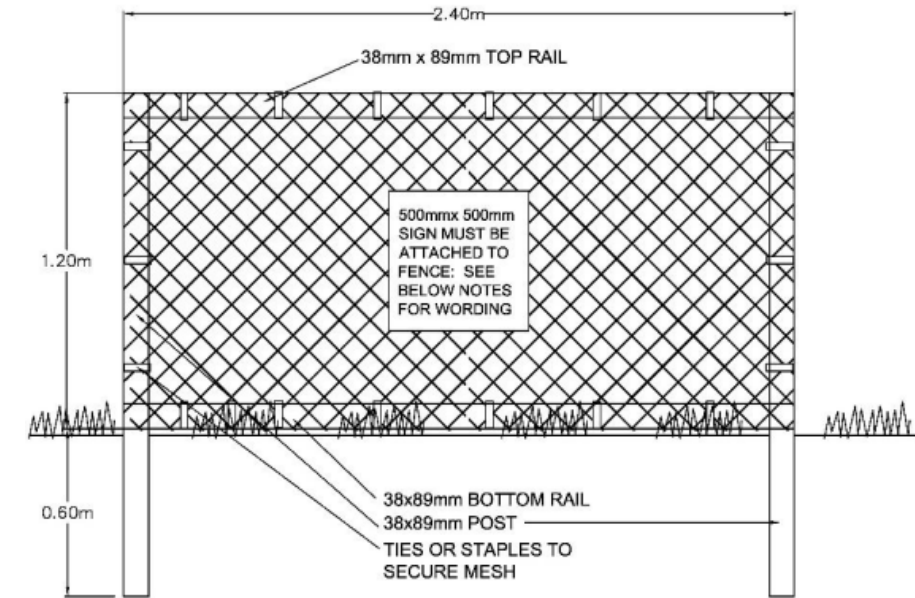
The City of Langford Tree Protection Bylaw No. 2117.

## 13. COMPANY INFORMATION

General Liability: Intact Insurance, Policy No. 5V2147122 : \$5,000,000

**APPENDIX A - TREE MANAGEMENT PLAN (T1)**

# BARRIER FENCING DETAIL & NOTES

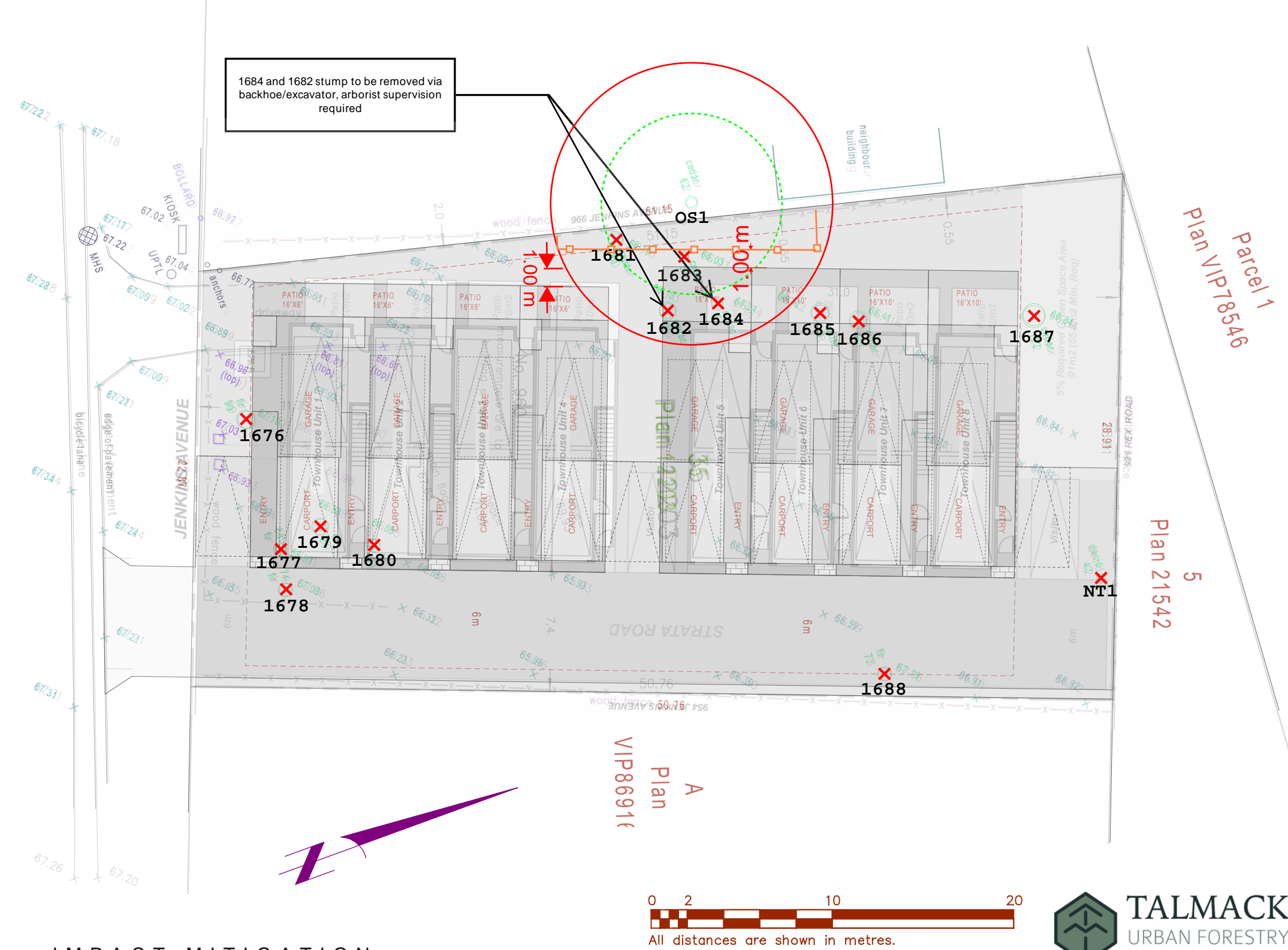


The requirements for tree protection barriers are as follows:

- (a) The barrier must be placed around the outside of the protected root zone of the tree, or as approved by the Director; and
- (b) The barrier must meet the following specifications:
  - (i) it must have a minimum height of 1.2 m,
  - (ii) 38 mm x 89 mm timbers must be used for vertical posts, top and bottom rails (in rocky areas, metal posts (T-bar or rebar) drilled into rock will be accepted), and cross-bracing (in an "X"),
  - (iii) spacing between vertical posts must be a maximum of 3.0 metres on center,
  - (iv) the structure must be sturdy with vertical posts driven firmly into the ground,
  - (v) there must be continuous plastic mesh high visibility screening (e.g. orange snow fencing), and
  - (vi) it must have visible all weather 500 mm x 500 mm signage on it with the wording "Warning – Tree Protection Area".

TREE MANAGEMENT PLAN	
960 Jenkins Avenue Langford, BC	
DATE:	August 30 <sup>th</sup> 2023
PREPARED FOR:	Eggetyxx Construction Ltd
SCALE:	1:250 @ 11 x 17
PREPARED BY:	Craig Charlton PN-9812A
TALMACK URBAN FORESTRY CONSULTANTS LTD. CONSULTING ARBORIST BOX 481531   VICTORIA, BC   V8Z 7H2 EMAIL: <a href="mailto:tmtreehelp@gmail.com">tmtreehelp@gmail.com</a> <a href="http://www.treehelp.ca">www.treehelp.ca</a>	

LEGEND	
	Existing tree with tag or ID number
	Crown spread diameter (m)
	Tree protection fencing
	Critical root zone radius (m)
	Tree to be removed (proposed)
	Un-surveyed tree (estimated loc'n)
	Non-protected tree (undersized)



## IMPACT MITIGATION

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**CITY OF LANGFORD  
BYLAW NO. 2161**

**A BYLAW TO AMEND BYLAW NO. 300,  
"LANGFORD ZONING BYLAW, 1999"**

---

The Council of the City of Langford, in open meeting assembled, hereby enacts as follows:

A. Langford Zoning Bylaw No. 300, 1999 is amended as follows:

1. By deleting from the One- and Two-Family Residential (R2) Zone and adding to the Residential Townhouse (RT1) Zone the property legally described as:

a) Lot 35, Section 80, Esquimalt District, Plan 12203, PID No. 004-973-267 (960 Jenkins Avenue);

as shown shaded on Schedule A attached to and forming part of this Bylaw.

2. By adding the following to Table 1 of Schedule AD:

<b>Zone</b>	<b>Bylaw No.</b>	<b>Legal Description</b>	<b>Amenity Contributions</b>	<b>Eligible for Reduction in Section 2 of Schedule AD</b>
RT1	2161	Lot 35, Section 80, Esquimalt District, Plan 12203, PID No. 004-973-267 (960 Jenkins Avenue)	a) \$3,660 per residential unit created towards the General Amenity Reserve Fund; and b) \$610 per unit created towards the Affordable Housing Reserve Fund	No

B. This Bylaw may be cited for all purposes as “Langford Zoning Bylaw, Amendment No. 713), (960 Jenkins Avenue), Bylaw No. 2161, 2024”.

READ A FIRST TIME this day of , 2024.

READ A SECOND TIME this day of , 2024.

READ A THIRD TIME this day of , 2024.

ADOPTED this day of , 2024.

---

PRESIDING COUNCIL MEMBER

---

CORPORATE OFFICER

Schedule A

