



Staff Report to Special Council

DATE: Monday, March 30, 2026

DEPARTMENT: Planning

APPLICATION NO.: TUP26-0001

SUBJECT: Application for a Temporary Use Permit to allow a pet grooming use at 2899 Sooke Lake Road.

EXECUTIVE SUMMARY:

Tricia Lee of Pawsitive Pet Emporium has applied on behalf of the property owner, Nishi Kant Sundra, to permit 'pet-grooming' at the commercial property located at 2899 Sooke Lake Road. This established business with an existing client base has been operating in the neighboring municipality of Colwood but must relocate due to their lease not being extended. Currently, the space that they have selected for their future operation is not zoned to permit the use of 'pet grooming', so a temporary use permit or rezoning is required before a Business License for that use can be issued.

BACKGROUND:

Previous Applications

DP02-0008: In 2002, a Form and Character Development Permit has been issued for a 23m² porch extension on the subject property.

TUP25-0002: In August 2025, an application for a Temporary Use Permit to operate a licenced group daycare on the subject property was submitted and subsequently withdrawn by the applicant.

On February 2, 2026, Council considered a Notice of Motion to direct staff to:

- Review the permitted uses of all business park/wholesale zones and commercial zones to support opportunities to attract and retain a diverse base of local businesses and encourage broader economic development. Following deliberation, the motion was defeated. Instead, Council has directed staff to undertake a comprehensive review of the permitted uses of all Business Park and Commercial Zones for clarity and consistency to support opportunities to attract and retain a diverse base of local business and to encourage broader Economic Development; and

- Add the uses ‘pet grooming’ and ‘bakery’ to business park/wholesale and commercial zones.

Following deliberation, Council passed a motion directing staff to proceed with the first component of the motion only.

Due to timelines associated with the business relocation, the applicant is unable to wait for this larger body of work to be completed and is seeking a TUP to begin operation of their business at the site.

Table 1: Site Data

<i>Applicant</i>	Tricia Heidinger of Pawsitive Pet Emporium
<i>Owner</i>	Nishi Kant Sunda
<i>Civic Address</i>	2899 Sooke Lake Road
<i>Legal Description</i>	LOT 1, SECTION 2, GOLDSTREAM DISTRICT, PLAN 7922, PID 005-623-863
<i>Size of Property</i>	1,457 m ²
<i>DP Areas</i>	Riparian
<i>Zoning</i>	C3 (District Commercial)
<i>OCP Designation</i>	Potential Neighbourhood Village within Complete Community

Site and Surrounding Area

The subject property is located at the corner of Sooke Lake Road and Humpback Road, across from Goldstream Provincial Park, and contains an established one-storey commercial building.

Aside from another commercially zoned building across Humpback Road, the surrounding neighbourhood consists primarily of single-family homes on conventionally sized lots. Sooke Lake Modular Home Co-Operative Park is located to the west of the site, across Humpback Road.

Although recent aerial imagery shows significant unenclosed storage within the yard area, the applicant has indicated that stored items will be removed in preparation for their operation. No exterior site alterations are proposed to accommodate the use.

Figure 1: Subject Property



Table 2: Surrounding Land Uses

	Zoning	Use
<i>North</i>	RR4, P4	Goldstream Provincial Park
<i>East</i>	R2	Single-family dwelling
<i>South</i>	R2	Single-family dwelling
<i>West</i>	C3, RH1	Liquor Store, Mobile Home Park

COMMENTARY:

Development Proposal

As stated above, the applicant has applied for a Temporary Use Permit (TUP) to permit ‘pet grooming’ on the subject property in order to relocate their existing business to this location. The business, Pawsitive Pet Emporium, is a pet grooming operation with accessory retail.

The daily operation consists of an appointment-based grooming studio offering professional grooming services for dogs and cats, including nail care, full grooming, and creative grooming. Pets are not

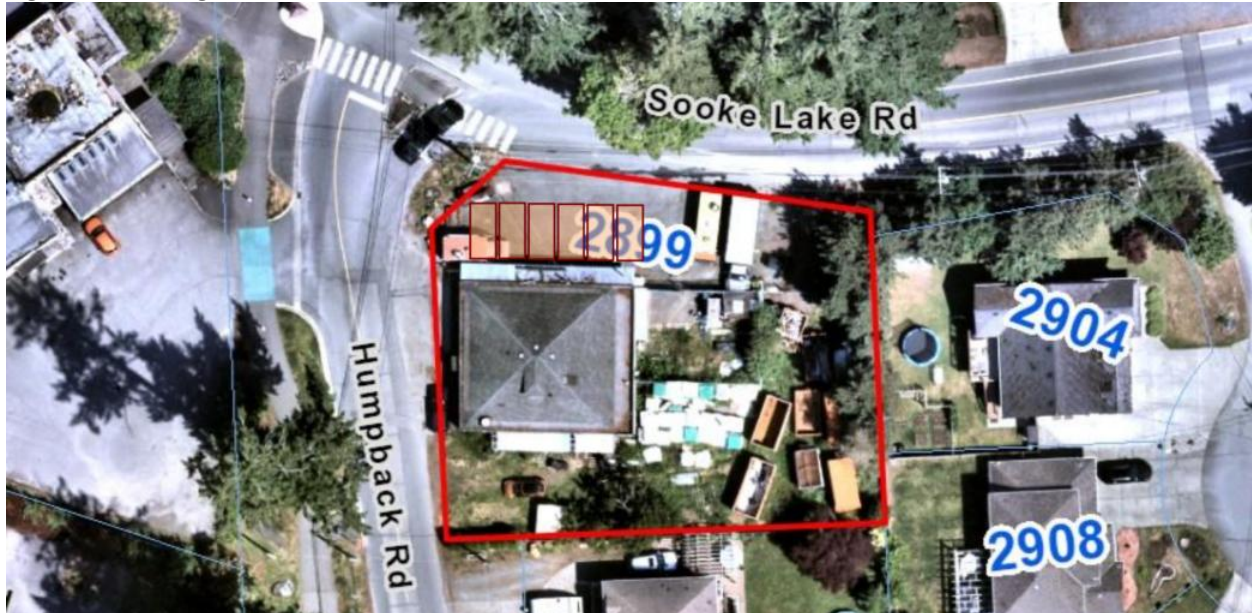
kenned before or after appointments, they remain on the premises only for the duration of their appointment and are promptly returned to their owners afterward. All services are provided indoors.

The applicant has indicated that the business will operate on a consistent and predictable schedule, from 8 am to 6 pm, Tuesday to Saturday, minimizing potential disruptions to neighbouring properties and integrating into the rhythm of the surrounding community. Staff consist of two owner-operators, one part-time employee, and occasional volunteers who assist with specific community and fundraising initiatives.

The commercial building at 2899 Sooke Lake Road contains two units that are typically leased separately. The applicant intends to occupy the larger of the two units, totaling 125m². At the time of writing this report, the smaller unit remains vacant, and staff are not aware of any prospective tenant for the space.

The business requires six parking stalls for the use of employees and patrons of the business in accordance with Part 4 of the Zoning Bylaw No. 300. The site can accommodate the required parking for the proposed use while still leaving additional space for a future tenant in the second smaller commercial unit, due to the wide paved frontage adjacent to Sooke Lake Road, as shown in Figure 2, below.

Figure 2: Parking Plan



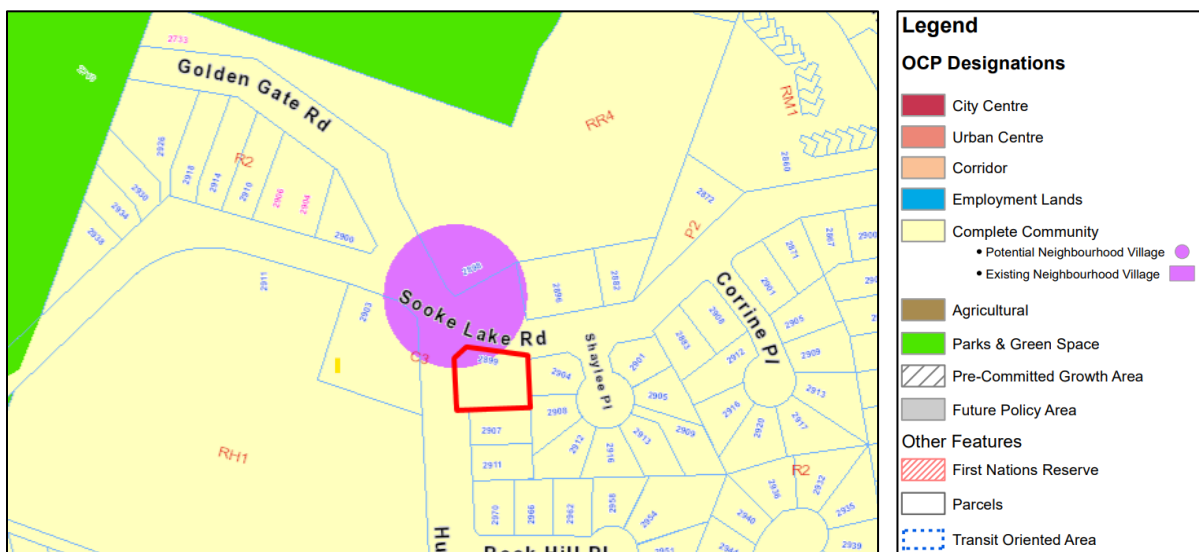
It is important to note that 'retail store' is a permitted use within the zoning designation, and the owner has already obtained the Business Licence from the City to commence that portion of their operation

while the TUP application is being processed. Since pet grooming is a vital part of their business model and a service their business is known for within the community, the applicant has applied for the TUP in the hopes of offering this service at the new Langford location.

Council Policy
 OFFICIAL COMMUNITY PLAN

The Official Community Plan (OCP) Bylaw No. 1200 designated the subject properties as “Potential Neighborhood Village” within “Complete Community”, which is defined by the following text:

<p>Complete Communities</p>	<p>Throughout the designation</p> <ul style="list-style-type: none"> Walk-up residential buildings are permitted, including a range of housing types to a maximum height of three storeys. <p>Neighbourhood Villages</p> <ul style="list-style-type: none"> Multi-family residential, commercial, and institutional uses are permitted. Maximum height of six storeys, including mandatory ground floor retail, restaurants/cafes and street-activating services. Located at key intersections. <p>Corner Convenience</p> <ul style="list-style-type: none"> Multi-family residential, commercial, and institutional uses are permitted. Maximum height of four storeys, including mandatory ground floor retail, restaurant/ cafe, or neighbourhood services. Located at intersections.
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This OCP designation supports local-community servicing uses. In the long term, the OCP envisions the potential evolution of this intersection into a neighbourhood village, with buildings up to six storeys in height and mandatory ground-floor neighborhood serving commercial uses. At this time, the owner is not seeking to rezone or redevelop the site.

FINANCIAL IMPLICATIONS:

There are no known financial implications associated with this TUP application.

LEGAL IMPLICATIONS:

Pursuant to s. 497 of the *Local Government Act*, the City may issue a Temporary Use Permit (TUP) for a period of up to three years. The *Local Government Act* also allows a Temporary Use Permit to be extended for a maximum of an additional three years. If the holder of a TUP wishes to conduct the temporary use beyond 6-year period, they are required to make a new application to Council for a TUP or apply for rezoning.

Section 3.27.01 of Zoning Bylaw No. 300 designates all of Langford as an area where Temporary Commercial or Industrial Use Permits may be issued. Such permits are considered on their individual merit.

OPTIONS:

Option 1

THAT Council:

1. Direct staff to provide notice that Council will consider issuing a Temporary Use Permit to allow for “pet grooming” services to be permitted at 2899 Sooke Lake Road, subject to the following terms and conditions:
 - a. That the Temporary Use Permit is issued for a period of three years from the time of issuance;
 - b. That the operator of the temporary use obtains a Business Licence from the City of Langford.

OR Option 2

THAT Council take no action with respect to this application for a Temporary Use Permit at 2899 Sooke Lake Road until such time as the following items are addressed and reviewed by Council:

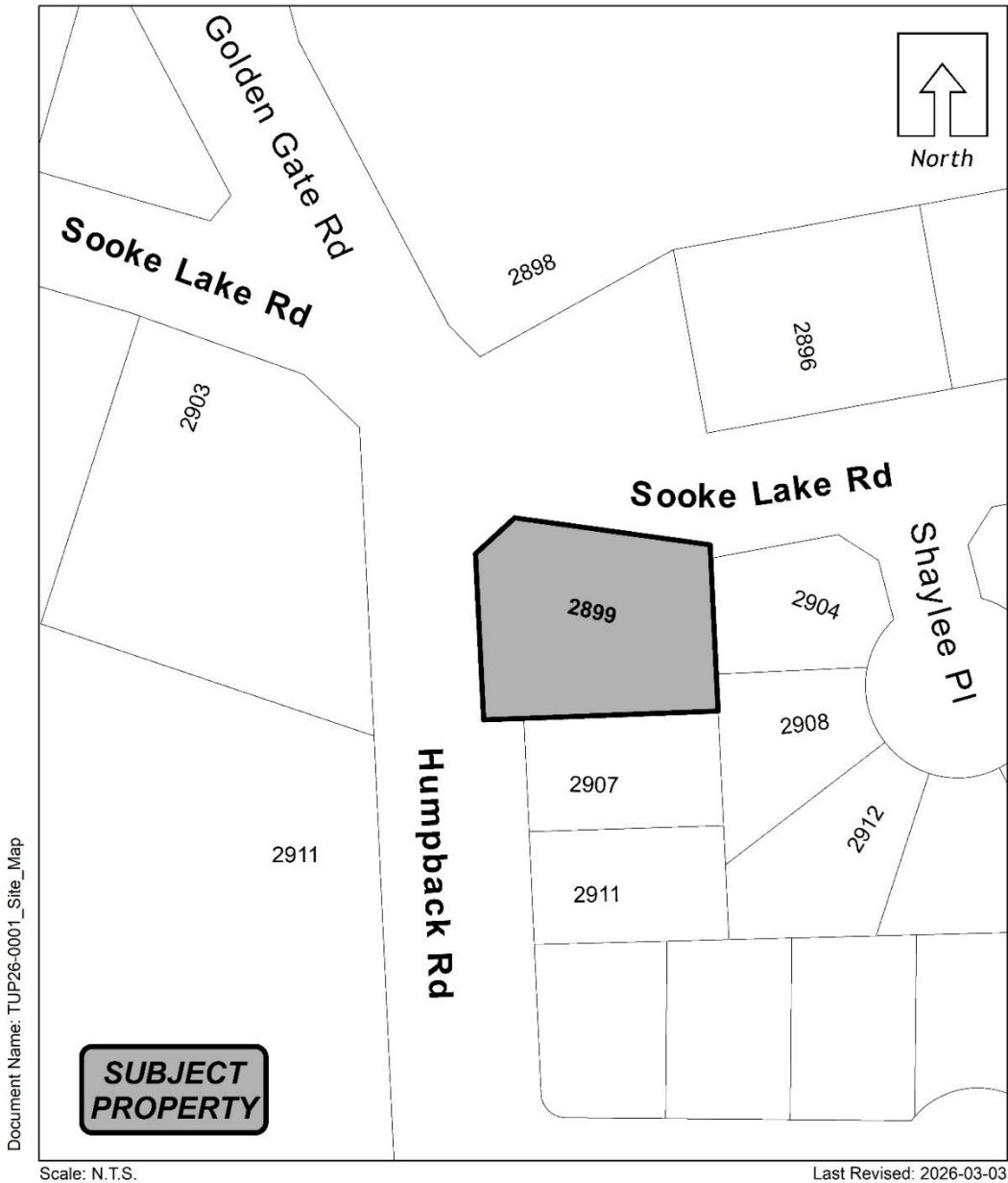
- a. _____;
- b. _____;
- c. _____.

SUBMITTED BY: Anastasiya Mysak, Planner I

- Concurrence:** Leah Stohmann, RPP, MCIP, Director of Community Planning and Development
- Concurrence:** Melisa Miles, Manager of Legislative Services
- Concurrence:** Donna Petrie, Senior Manager of Communications & Economic Development
- Concurrence:** Yari Nielsen, Director of Parks, Recreation and Facilities
- Concurrence:** Katelyn Balzer, P.Eng., Director of Engineering and Public Works
- Concurrence:** Michael Dillabaugh, CPA, CA, Director of Finance
- Concurrence:** Marie Watmough, Director of Legislative & Protective Services
- Concurrence:** Braden Hutchins, Deputy Chief Administrative Officer
- Concurrence:** Darren Kiedyk, Chief Administrative Officer

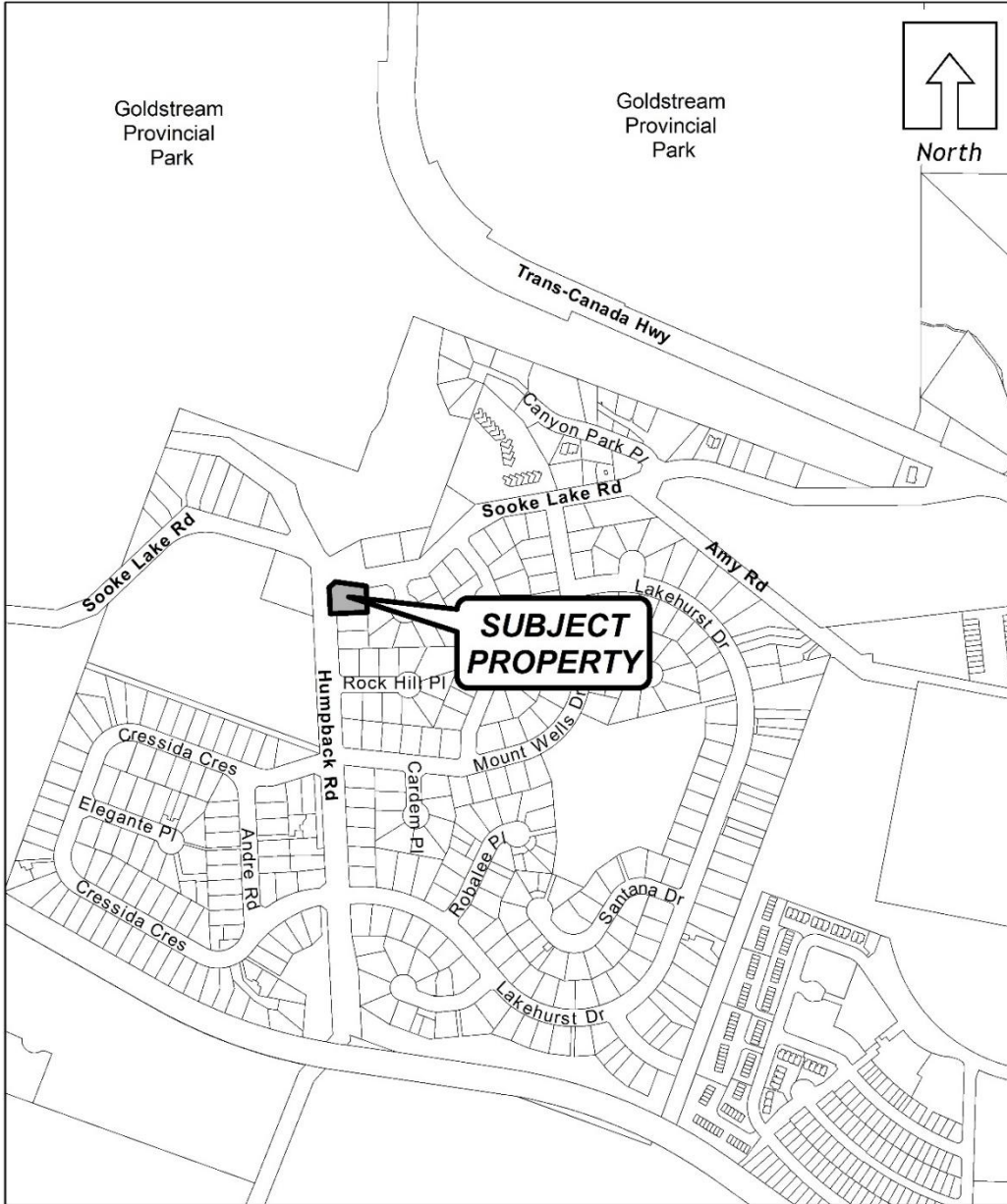
Appendix A – Site Map

TEMPORARY USE PERMIT
(TUP26-0001)
2899 Sooke Lake Rd



Appendix B – Location Map

**TEMPORARY USE PERMIT
(TUP26-0001)
2899 Sooke Lake Rd**



Document Name: TUP26-0001_Location_Map

Scale: N.T.S.

Last Revised: 2026-03-03