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CIVIL DRAWINGS	
C	Unnamed

LANDSCAPE DRAWINGS	
L	Unnamed PLAN

ELECTRICAL DRAWINGS	
E	Unnamed



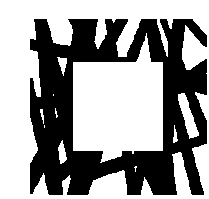
INCLUDED IN THIS RFP FOR CONCEPTUAL & REFERENCE PURPOSES ONLY

# MHS CARLOW HOUSING

2805 Carlow Road

ISSUED FOR 75%

2026-02-03



**LOW  
HAMMOND  
ROWE  
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# ABBREVIATIONS LIST

ACT	ACOUSTIC CEILING TILE	QIC	ON CENTRE
AD	AREA DRAIN	OSB	ORIENTATED STRAND BOARD
AFF	ABOVE FINISHED FLOOR	OWSJ	OPEN WEB STEEL JOIST
ALUM	AIR HANDLING UNIT		
	ALUMINUM	PLAM	PLASTIC LAMINATE
BBH	BASEBOARD HEATER	PLY	PLYWOOD
BBCC	BRITISH COLUMBIA BUILDING CODE	PSF	PRESSED STEEL FRAME
BOW	BOTTOM OF WALL	PT	PRESSURE TREATED
BLDG	BUILDING	PTD	PAINTED
		RA	RETURN AIR (GRILLE)
CB	CATCH BASIN	RB	RUBBER BASE
CC	CENTRE TO CENTRE	RD	ROOF DRAIN
CG	CORNER GUARD	RCP	REFLECTED CEILING PLAN
CBP	CAST IN PLACE	RO	ROUGH OPENING
CJ	CONTROL JOINT	RWL	RAIN WATER LEADER
CO	CLEAN OUT	RSI	RESISTANCE VALUE SI (m <sup>2</sup> ·K/W)
CONT	CONTINUOUS	R-VALUE	RESISTANCE VALUE IMP (ft <sup>2</sup> ·F·h/BTU)
CL	CENTRE LINE	RF	RESILIENT FLOORING
CMU	CONCRETE MASONRY UNIT	SA	SUPPLY AIR (GRILLE)
CW	COMPLETE WITH	SAM	SELF-ADHERED MEMBRANE
CT	CERAMIC TILE	SC	SCUPPER
		SCW	SOLID CORE WOOD
		SIM	SIMILAR
DN	DOWN	SOG	SLAB ON GRADE
DW	DISHWASHER	SPEC	SPECIFICATION(S)
DF	DRINKING FOUNTAIN	S/S	STAINLESS STEEL
DG	DOOR GRILLE	SM	SOLID SURFACE (MATERIAL)
		STC	SOUND TRANSMISSION CLASS (RATING)
EP	ELECTRICAL PANEL	STRUCT	STRUCTURAL
ELECT	ELECTRICAL	SQ FT	SQUARE FEET
EQ	EQUAL		
EJ	EXPANSION JOINT	TD	TRENCH DRAIN
		TCC	TOP OF CONCRETE
FAA	FIRE ALARM/ANNUNCIATOR PANEL	TOF	TOP OF FOOTING
FD	FLOOR DRAIN	TOP	TOP OF PARAPET
FX	FIRE EXTINGUISHER	TOS	TOP OF SLAB
FXC	FIRE EXTINGUISHER CABINET	TOW	TOP OF WALL
FFE	FINISH FLOOR ELEVATION	T&G	TONGUE AND GROOVE
FHC	FIRE HOSE CABINET	Typ	TYPICAL
FRR	FIRE RESISTANCE RATING		
		UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM WALL BOARD	US	UNDER SIDE
		VCT	VINYL COMPOSITE TILE
HB	HOSE BIB	VERT	VERTICAL
HCW	HOLLOW CORE WOOD	VWC	VINYL
HM	HOLLOW METAL		
HM	HOLLOW METAL INSULATED	W/	WITH
HRZ	HORIZONTAL	WC	WATER CLOSET
HSS	HOLLOW STEEL SECTION	WD	WOOD
		WDM	WELDED WIRE MESH
IGU	INSULATED GLAZING UNIT		

m	METRE(S)		
m <sup>2</sup>	SQUARE METRES		
MDF	MEDIUM DENSITY FIBRE BOARD		
MECH	MECHANICAL	0 hr	0 HOUR FIRE RATED (SMOKE SEPARATION)
mm	MILLIMETRE(S)	20 MIN	20 MINUTE FIRE RATED
		3/4 hr	45 MINUTE FIRE SEPARATION
		1 hr	1 HOUR FIRE SEPARATION
		1.5 hr	90 MINUTE FIRE SEPARATION
		2 hr	2 HOUR FIRE SEPARATION
		4 hr	4 HOUR FIRE SEPARATION
			GYPSUM BOARD TYPES
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		

INSUL-1	FIBROUS MINERAL WOOL BATT	GB-1	GYPSUM WALL BOARD
INSUL-2	FIBROUS GLASS BATT	GB-2	GYPSUM CEILING BOARD
INSUL-3	FACED INSULATION	GB-3	FLEXIBLE GYPSUM BOARD
INSUL-4	EXTRUDED POLYSTYRENE INSULATION (XPS)	GB-4	MOISTURE RESISTANT GYPSUM BOARD
INSUL-5	POLYISOCYANURATE RIGID BOARD	GB-5	IMPACT RESISTANT GYPSUM BOARD
INSUL-6	EXPANDED POLYSTYRENE INSULATION (EPS)	GB-6	ABUSE RESISTANT GYPSUM BOARD
INSUL-7	CONCRETE FACED EXTRUDED POLYSTYRENE	GB-7	GYPSUM TILE BACKER BOARD
INSUL-8	SEMI-RIGID MINERAL WOOL	GB-8	CEMENTITIOUS BACKER BOARD
INSUL-9	SPRAY FOAMED IN PLACE	GB-9	EXTERIOR SHEATHING BOARD
INSUL-10	SPRAY APPLIED GLASS FIBERS THERMAL	GB-10	---

GL-1	FLOAT GLASS
GL-2	TEMPERED GLASS
GL-3	LAMINATED GLASS
GL-4	LOW EMISSIVITY GLASS (LOW-E)
GL-5	POLISHED GEORGIAN WIRE GLASS
GL-6	SPANDREL GLASS
GL-7	SILVERED MIRROR GLASS

IGU-1	INSULATED GLAZING UNIT (FLOAT GLASS)
IGU-2	INSULATED GLAZING UNIT (TEMPERED GLASS)

FUNCTIONAL PROGRAM			
Project Name:	MHS - Carlow Family Housing		
Address:	2805 Carlow		
Building Type:	5 Storey Wood Frame over Suspended Slab and Concrete Super Structure		
Parking Type:	Combination In-Situ and Underground Parking		
	Description of Units/Spaces	10/Unit or room	# of units
a - Residential Units	1-Bedroom - Unit B1 Adaptable	112.25	5
	1-Bedroom - Unit B1R Adaptable	112.25	5
	1-Bedroom - Unit B2 Adaptable	101.70	5
	1-Bedroom - Unit B3 Accessible	101.36	2
	1-Bedroom - Unit B4 Adaptable	101.36	3
	2-Bedroom - Unit C1 Adaptable	126.99	10
	2-Bedroom - Unit C1R Adaptable	126.99	5
	3-Bedroom - Unit D1 Adaptable	150.11	5
	<b>Total # of units</b>		<b>40</b>
b - Resident's Amenity	Lounge	0	0
	Multi-Purpose Room	0	0
	Resident Laundry	0	0
	Common Dining Room	0	0
	Commercial Kitchen	0	0
	Common Washrooms	0	0
c - Administration / Program Support	Janitor	25.42	5
	Lobby	158.97	1
	Venue	135.52	1
	Corridors	1029.59	5
	Stair 1	153.60	5
	Stair 2	170.82	5
	Elevators	65.44	1
e - Service Rooms (located above grade)	Electrical	259.09	1
	Mechanical	347.24	1
	Bike Storage	913.14	1
	Storage	324.44	1
	Electrical/Data Closets	19.91	5
	<b>Total</b>		<b>33,913</b>
a - Residential Units			33,913
b - Total Resident's Amenity			0
c - Total Admin/Support			129
d - Circulation			7,684
e - Service Rooms (located above grade)			100
f - GROSS LIVABLE AREA (above+below)			41,825
Overall Building Efficiency			81%

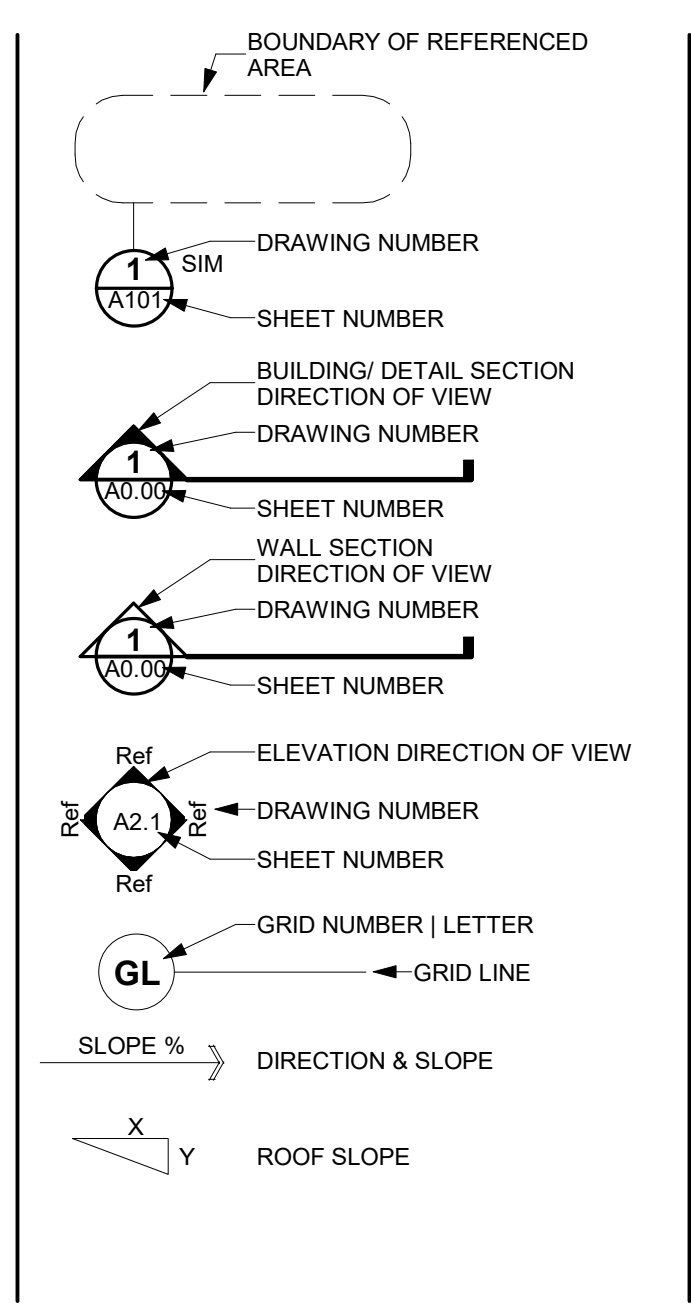
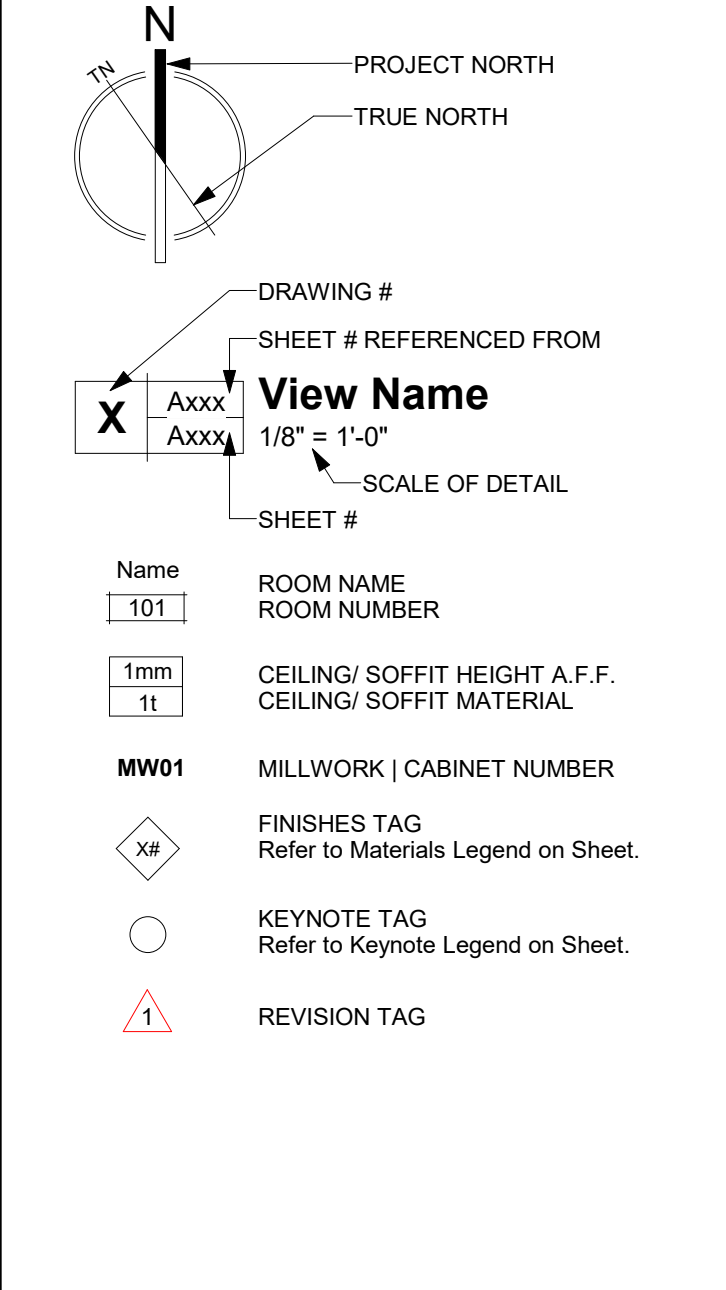
# GENERAL NOTES

1. READ ALL DRAWINGS IN CONJUNCTION WITH ALL PROJECT SPECIFICATION SECTIONS.
2. READ ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL LAYOUT DRAWINGS. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
3. MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS AND CODES, AND REFERENCED DOCUMENTS.
4. THE WORK INDICATED IN THESE DOCUMENTS IS INTENDED TO BE A COMPLETE WORK IN EVERY RESPECT. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF ALL THE CONTRACT DOCUMENTS TAKEN AS WHOLE. ANY WORK SHOWN ON THE DRAWINGS EVEN IF NOT PARTICULARLY DESCRIBED IN THE SPECIFICATIONS, OR VICE VERSA, IS TO BE DONE BY THE CONTRACTOR AS IF IT WERE BOTH SHOWN ON DRAWINGS AND SPECIFIED.
5. PERFORM WORK IN ACCORDANCE WITH B.C. BUILDING CODE (BCBC) LATEST EDITION AT TIME OF BUILDING PERMIT SUBMISSION, AND ANY OTHER CODE OF PROVINCIAL OR LOCAL APPLICATION PROVIDED THAT IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS OR AUTHORITY HAVING JURISDICTION SHALL APPLY.
6. ANY CONFLICT IN TERMINOLOGY USED WITHIN THE CONTRACT DOCUMENTS WILL BE DECIDED BY THE CONSULTANT AS THE MORE EXPENSIVE ALTERNATIVE. THE DECISION OF THE CONSULTANT WILL BE FINAL.
7. ALL THE MATERIALS USED IN THE EXECUTION OF THE WORK OF THIS CONTRACT SHALL BE NEW AND/OR BEST QUALITY UNLESS OTHERWISE SHOWN.
8. ALL THE VARIOUS WORKS SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND OF THE BEST MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE CONTRACT AND DOCUMENTS, NONE BUT SKILLED, EXPERIENCED WORKMEN AND THEIR APPRENTICES SHALL BE EMPLOYED ON THE WORK.
9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS AND CONDUITS AND CONFORM TO FIRE STOPPING AND FIRE SEPARATION REQUIREMENTS. CONCEAL ALL PIPES, DUCTS, CONDUITS AND WIRING IN FLOOR, WALL AND ROOF AND CEILING CONSTRUCTION OF FINISHED AREAS.
10. ALL EXTERIOR WALL PENETRATIONS IN EXTERIOR WALLS TO BE SEALED USING APPROVED BUILDING ENVELOPE PRODUCTS AND METHODS.
11. SITE AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM SURVEY DRAWINGS OBTAINED FROM THE OWNER. LOCATIONS OF ALL SITE COMPONENTS AND ELEVATION DATUMS ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE WORK. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
12. NEW & EXISTING GRADES SHOWN IN ELEVATION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ALL DATUM POINTS WITH EXISTING SITE CONDITIONS AND MAKE NECESSARY ADJUSTMENT OF FOOTING HEIGHTS, COLUMN LENGTHS, STAIR TERMINATIONS AND FINAL FINISH CLADDING TERMINATIONS. MAKE ADJUSTMENTS TO MATERIAL LENGTHS AND QUANTITIES AS NECESSARY TO SUIT EXISTING & ADJUSTED GRADE CONDITIONS AS NECESSARY. REPORT ANY DISCREPANCIES TO CONSULTANT PRIOR TO START OF WORK.
13. RECORD EXACT LOCATIONS OF NEW, MAINTAINED, RE-ROUTED AND ABANDONED SERVICE LINES ON AS-BUILT DRAWINGS.
14. CONTRACTOR'S STORAGE AND LAY-DOWN AREA IS TO BE CONTAINED WITHIN SITE WORK AREA LIMITS UNLESS OTHERWISE NOTED.
15. CONTAIN SITE WORK AREA TO LIMITS AS SHOWN ON SITE PLAN. DECONSTRUCTED AND WASTE MATERIALS TO BE REMOVED FROM SITE AND TRANSPORTED TO RECYCLING FACILITIES AUTHORIZED TO HANDLE AND DISPOSE OF THE MATERIALS.
16. RE-GRADE ALL AREAS DISTURBED DURING CONSTRUCTION TO FINISHED GRADES AS INDICATED ON DRAWINGS AND BLEND INTO EXISTING NATURAL GRADE AS REQUIRED.
17. LIMIT SITE ACCESS TO ROUTES INDICATED ON THE SITE PLAN. COORDINATE ALL ACCESS WITH AUTHORITY HAVING JURISDICTION AND THE OWNER'S RESTRICTIONS PRIOR TO COMMENCEMENT OF WORK. ABIDE BY ALL MUNICIPAL REQUIREMENTS, OWNER RESTRICTIONS AND CONTRACT DOCUMENTS.
18. EXAMINE SITE. REVIEW ALL SITE CONDITIONS PERTINENT TO WORK OF THE CONTRACT. THE CONSULTANT DOES NOT GUARANTEE EXISTING SITE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS AND THE CONTRACTOR MUST ANTICIPATE MINOR VARIANCES IN SUCH INFORMATION RELATIVE TO ACTUAL CONDITIONS AND REPORT ANY MAJOR DISCREPANCIES TO THE CONSULTANT PRIOR TO BID CLOSE.
19. WHERE SITE WORK INVOLVES BREAKING IN TO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK IN ACCORDANCE WITH MUNICIPAL AND/OR UTILITY COMPANY REQUIREMENTS. COORDINATE SERVICE INTERRUPTIONS WITH OWNER AND AUTHORITY HAVING JURISDICTION.
20. THE LOCATION OF EXISTING FEATURES, BOTH ABOVE GRADE AND UNDERGROUND, HAS BEEN DETERMINED FROM AVAILABLE RECORDS BUT IS NOT GUARANTEED. THE LOCATION OF ALL SUCH FEATURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
21. DEMOLITION IN THE VICINITY OF EXISTING STRUCTURES AND UTILITIES SHALL BE CAREFULLY PERFORMED. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE TO AND FOR PROTECTION OF EXISTING STRUCTURES AND UTILITIES. DAMAGE TO EXISTING STRUCTURES AND UTILITIES IS TO BE MADE GOOD TO THE SATISFACTION OF THE CONSULTANT AT NO COST TO THE OWNER.

# CONSTRUCTION ASSEMBLY NOTES

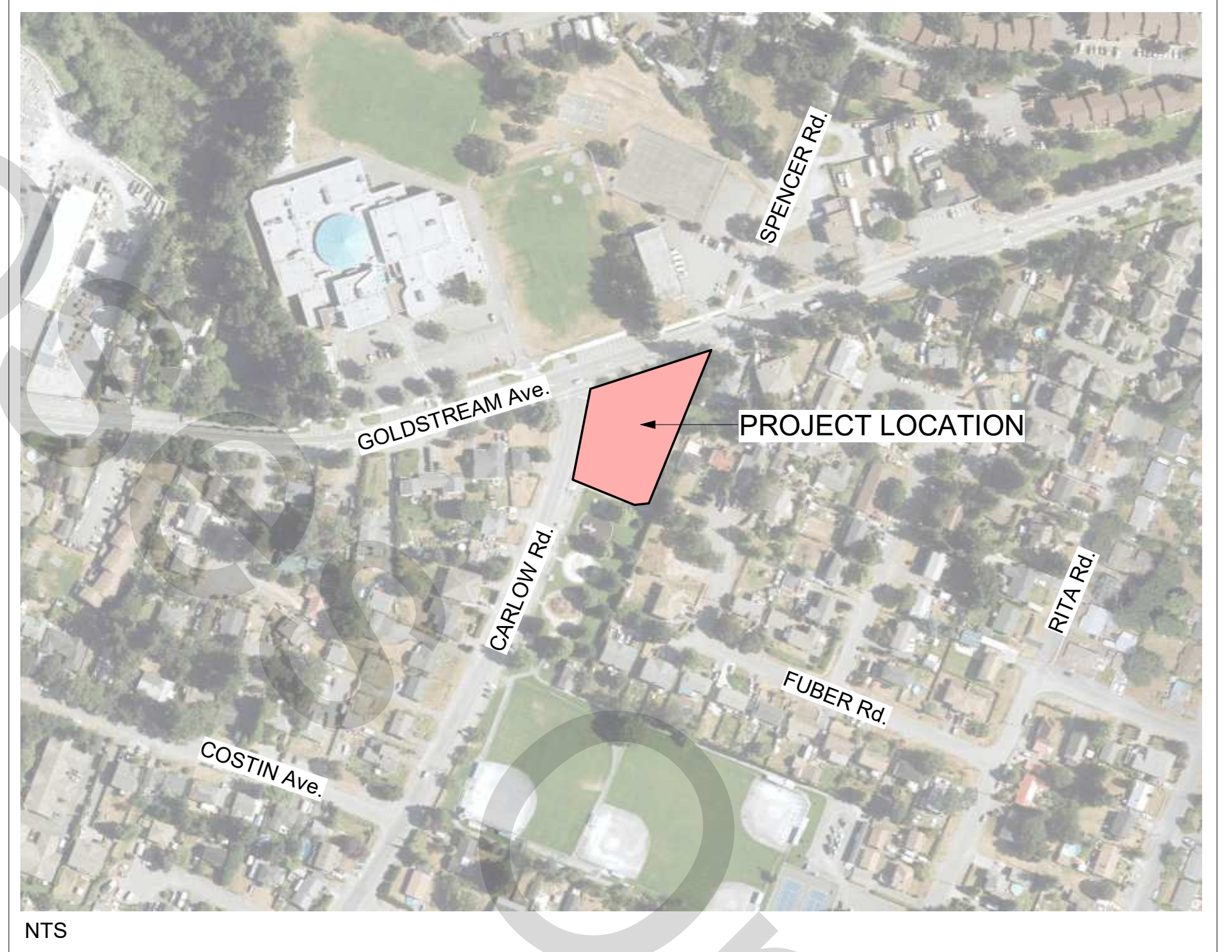
1. ALL ASSEMBLIES SHALL BE CONSTRUCTED IN SEQUENCE AS WRITTEN INITIATED FROM THE SIDE ON WHICH WALL TAG IS LOCATED.
2. TYPICAL PARTITION WALL CONSTRUCTION AS FOLLOWS U.N.O.:
  - a. TYPICAL EXTERIOR WOOD FRAMED WALL - W1
  - b. TYPICAL FIRE-RATED CORRIDOR PARTITION - P1x
  - c. TYPICAL FIRE-RATED PARTITION BETWEEN SUITES - P2x
  - d. TYPICAL CONCRETE COLUMN & WALL FURRING PARTITION - FP5
3. ALL LOAD BEARING WALLS, POSTS & BEAMS SUPPORTING RATED FLOOR ASSEMBLIES TO HAVE FIRE RESISTANCE EQUAL TO FLOOR RATING.
4. REFER TO STRUCTURAL DRAWING FOR ALL INFORMATION REGARDING CONCRETE & MASONRY, STRUCTURAL FLOORS, ROOFS, WALLS, STRUCTURAL SIZES, SPACING, CONNECTIONS, LOAD BEARING / WIND LOADED METAL STUDS, SHEAR WALL LOCATIONS, STRUCTURAL MEMBER SIZES, THICKNESS OF PLYWOOD, ETC.
5. PROVIDE CONTINUOUS FOAM GASKET BETWEEN ALL WALL PLATES AND CONCRETE FOUNDATION WALLS, CONCRETE SLABS OR SLAB ON GRADE.
6. PLYWOOD SHEATHING SPECIFIED FOR SHEAR WALLS ON STRUCTURAL DRAWINGS IS A SEPARATE AND AN ADDITIONAL MATERIAL COMPONENT. WHERE PLYWOOD SHEAR WALLS ARE REQUIRED INCORPORATE PLYWOOD INTO WALL ASSEMBLIES AS FOLLOWS:
  - a. FOR SINGLE LAYER GYPSUM PARTITIONS ADD ONE LAYER OF PLYWOOD BEHIND FINISHED GYPSUM BOARD LAYER
  - b. FOR DOUBLE LAYER GYPSUM PARTITIONS DELETE ONE LAYER OF INNER GYPSUM WALL BOARD AND REPLACE WITH PLYWOOD SHEAR WALL MEMBRANE
  - c. WHERE A PLYWOOD SHEAR WALL IS REQUIRED IN A PARTIAL LENGTH OF WALL ADD A LAYER OF GYPSUM WALL BOARD ADJACENT TO THE TERMINATION OF PLYWOOD TO MAINTAIN A UNIFORM SURFACE ALONG THE FULL LENGTH OF WALL.
7. ALL INTERIOR DOOR ROUGH OPENINGS ARE EITHER TO BE CENTERED IN WALL BETWEEN ADJOINING WALLS OR 75mm FROM NEAREST ADJACENT WALL AS SHOWN ON FLOOR PLAN U.N.O.
8. ALL WALLS SHALL BE FINISHED WITH GYPSUM WALL BOARD SPECIFIED IN WALL ASSEMBLY.
9. PROVIDE LAYER OF 90 FIBREGLASS BATT INSULATION IN VOID SPACE ABOVE DROPPED CEILING IN ALL SUITE BATHROOMS
10. AT ALL BATHROOMS, SUBSTITUTE 15.9mm TYPE 'X' MOISTURE RESISTANT GYPSUM WALLBOARD (GB-4) FOR GYPSUM BOARD SPECIFIED IN WALL ASSEMBLY.
11. PROVIDE SOLID BLOCKING BETWEEN STUDS FOR MOUNTING OF ALL HANDRAILS, GRAB BARS, WASHROOM ACCESSORIES, MILLWORK, WALL MOUNTED FIXTURES AND EQUIPMENT.
12. THROUGH BOLT ALL CABINETS, SHELVING AND WALL MOUNTED FIXTURES TO SOLID BLOCKING TO ACHIEVE SEISMIC RESTRAINT
13. FILL VOIDS BETWEEN PREFAB SHOWER UNITS AND FLOOR BELOW WITH MINERAL FIBRE BATT INSULATION.
14. COORDINATE ALL ACCESS PANEL LOCATIONS IN WALLS & CEILING WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.
15. REFER TO MECHANICAL & ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR INTEGRATION OF BUILDING SYSTEMS INTO ASSEMBLIES, INCLUDING ADDITIONAL FIRESTOPPING REQUIREMENTS.
16. PROVIDE FIRESTOPPING AT ALL CONCEALED SPACES AND OTHER LOCATIONS IN ACCORDANCE WITH BC BUILDING CODE (BCBC) LATEST EDITION.
17. PROVIDE FIRESTOPPING OF SERVICE PENETRATIONS AT ALL REQUIRED FIRE SEPARATIONS IN CONFORMANCE WITH BC BUILDING CODE (BCBC) LATEST EDITION.
18. AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED
19. REFER TO SPECIFICATIONS FOR MATERIAL AND INSTALLATION REQUIREMENTS.

# ANNOTATION LEGEND



ASSEMBLY TAGS	
	EXTERIOR CLADDING ASSEMBLY
	CAST-IN-PLACE CONCRETE WALL ASSEMBLY
	CONCRETE MASONRY UNIT PARTITION ASSEMBLY
	COLUMN ASSEMBLY
	CONCRETE CURBS/UPSTAND ASSEMBLY
	INTERIOR PARTITION WALL ASSEMBLY
	INTERIOR FURRING PARTITION ASSEMBLY
	INTERIOR SHAFT WALL ASSEMBLY
	FLOOR ASSEMBLY
	ROOF ASSEMBLY
	EXTERIOR WALL ASSEMBLY
	PARAPET WALL ASSEMBLY
WINDOW TAGS	
	EXTERIOR WINDOW TYPE
	CURTAIN WALL TYPE
	STORE FRONT WALL TYPE
	WINDOW WALL TYPE
	INTERIOR WINDOW TYPE
	LOUVER TYPE
	DATUM FINISH ELEVATION
	NEW ELEVATION
	EXISTING ELEVATION
	SETTING OUT POINT

# PROJECT LOCATION PLAN



LOW HAMMOND ROWE ARCHITECTS  
300 - 1590 CEDAR HILL CROSS ROAD  
VICTORIA BC V8P 2P5  
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2805 CARLOW HOUSING

2805 CARLOW RD, VICTORIA, BC

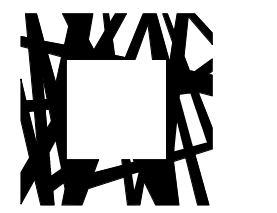
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No	Date	Revised
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Principal in Charge	JL	Drawn By	TD
		Reviewed By	SK
Project number	24.12		
Sheet title	GENERAL NOTES & LOCATION PLAN		

Sheet number	<b>A0.01</b>		
Sheet in set	1	Revision	
File name	2412_MHS_Carlow		
Plot date	251212		

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2805 CARLOW HOUSING

2805 CARLOW RD, VICTORIA, BC

**2024 BC Building Code Analysis**  
Design Summary  
Date: 2025 - 09 - 16

**Project Description:**  
Name of Project: MHS Carlow  
Address of Project: 2805 Carlow Road  
Legal Description: Lot 5 Plan 4439

**Code Summary:**

**TYPE OF WORK**  
 New Construction   
 Addition to Existing   
 Alteration   
 Tenant Improvement

**BASIS FOR CODE ANALYSIS (Section 1.2, Div. A):**  
 Acceptable Solutions and Prescriptive Requirements (Division B)   
 PART 3   
 PART 9  
 Alternate Compliance Method (Heritage Buildings)  
 Alternative Solutions (Objective & Function Statements and Rationale)

BUILDING AREA	FLOOR AREA
See BCBC Definitions	
Proposed building 903.79m <sup>2</sup>	Parkade Garage P1 923.57 m <sup>2</sup>
Existing Building N/A	Level 1 - Childcare 903.79 m <sup>2</sup>
Addition N/A	Level 2 - Residential 696.88 m <sup>2</sup>
	Level 3 - Residential 696.88 m <sup>2</sup>
	Level 4 - Residential 696.88 m <sup>2</sup>
	Level 5 - Residential 696.88 m <sup>2</sup>
	Level 6 - Residential 696.88 m <sup>2</sup>
<b>Total Building Area 1151.61 m<sup>2</sup></b>	<b>Total Floor Area 5351.12 m<sup>2</sup></b>

Firewalls are incorporated into overall design     Yes     No  
Parking Structures considered as separate buildings     Yes     No

MHS Carlow  
Project No. 24.12  
Page 2 of 3  
Code Analysis

**OCCUPANT LOAD (Table 3.1.17.1, 3.4.3.2)**

Level	Area (m <sup>2</sup> )	OLF (m <sup>2</sup> /per)	Occupant Load	Door/Corridor	Stair	Exit
Parking Garage - P1	849.95 m <sup>2</sup>	46	18.4	112.24	6.1	1100*2 8.0 147.2
L1 - Childcare	# of persons	n/a	74 kids 10-11 staff	457.5	6.1	1100*2 8.0 600
Level 2	2/bdrm	26	158.6	6.1	1100*2 8.0 208	
Level 3	2/bdrm	26	158.6	6.1	1100*2 8.0 208	
Level 4	2/bdrm	26	158.6	6.1	1100*2 8.0 208	
Level 5	2/bdrm	26	158.6	6.1	1100*2 8.0 208	
Level 6	2/bdrm	26	158.6	6.1	1100*2 8.0 208	

**BUILDING SIZE AND CONSTRUCTION**  
(Articles 3.2.2.20 to 3.2.2.93) (Subsection 9.10.8)

Major Occupancies (Group/Division) F3, A2, C	Subsidiary Occupancies N/A
Number of Streets 2	Number of Storeys 6
Governing Article 3.2.2.84., 3.2.2.24., 3.2.2.51.	Mezzanine % of Suites 0
Automatic Sprinklers <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Fire Alarms <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Type of Construction Permitted Per Occupancy:  
F3     Non-combustible  
A2     Non-combustible  
C     Combustible     Non-combustible

Fire Separation/Fire-Resistance Rating of Building Components:  
Floors: Match rating of floor above  
Supports: Match rating of floor above  
Mezzanine: N/A

Fire Separations Between Major Occupancies (Table 3.1.3.1.)  
Suites or Fire Compartments 1 Hour  
Roof: C 1 hr. No rating for remaining occupancies.  
Group F3 to A2 1.5 hr FRR  
Group A2 to C 2 hr FRR  
Group F3 to C 1.5 hr FRR

MHS Carlow  
Project No. 24.12  
Page 3 of 3  
Code Analysis

**Fire Separations Within Occupancies**

Suites or Fire Compartments 1hr	Elevator Shaft: Match rating of floor above
Fire Separation of Exits - Refer to fire separations	Garbage/Recycling Rm 1 Hour
Interconnected Floor Spaces N/A	Service Rooms 1 Hour
Electrical Room 1hr	Janitor Room Non Rated FIRE SEPARATION

**Other Safety Requirements**

Smoke Control / Ventilation <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Standpipes Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Emergency Power Supply Duration 1hr/ 30 mins	Distance to Hydrant < 45m
Emergency Lighting Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
NFPA Sprinkler Standard NFPA13	Exit Signs Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

**EXIT REQUIREMENTS (Section 3.4) (Section 9.9):**

	Number of Exits from each floor area		Maximum Travel Distance		Exit Width
	Required	Provided	Allowed	Max Actual	
Parking Garage	2	2	60m	32.38m max.	1100 min
L1 - Childcare	2	2	45m	22.04 max.	1100 min
L2-L6 - Residential	2	2	45m	21.69 max	1100 min

**HEALTH REQUIREMENTS (Section 3.7) (Based on Occupant Load - A2)**

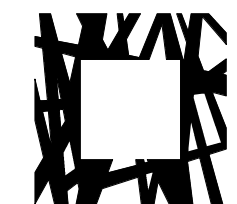
Occupancy	Occupant Load		W.C. Required		Accessible	Total Provided
	Male	Female	Male	Female		
Childcare	42.5	42.5	2	2	3	10

**HEALTH REQUIREMENTS (Section 3.7) (Based on Occupant Load - C)**

Occupancy	W.C. Required	W.C. Provided
Residential	1 Per Suite	1 Per Suite Minimum

**ACCESSIBILITY REQUIREMENTS (Section 3.8):**

Entrance - Yes	Parking Spaces - 1 in F3	Washrooms - 10 in A2
Accessible Floors - F3, A2, C	Ramps - N/A	



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2805 CARLOW HOUSING

2805 CARLOW RD, VICTORIA, BC

No	Date	Issued	
No	Date	Revised	
Principal in Charge	JL	Drawn By	TD
		Reviewed By	SK
Project number	24.12		
Sheet title	CODE COMPLIANCE - FLOOR PLANS		
Sheet number	A0.11		
Sheet in set	1	Revision	
File name	2412_MHS_Carlow		
Plot date	251212		

**NOTE: THIS SHEET MUST BE VIEWED IN FULL COLOUR. GREYSKALE PRINTS WILL NOT DISPLAY CRITICAL INFORMATION.**

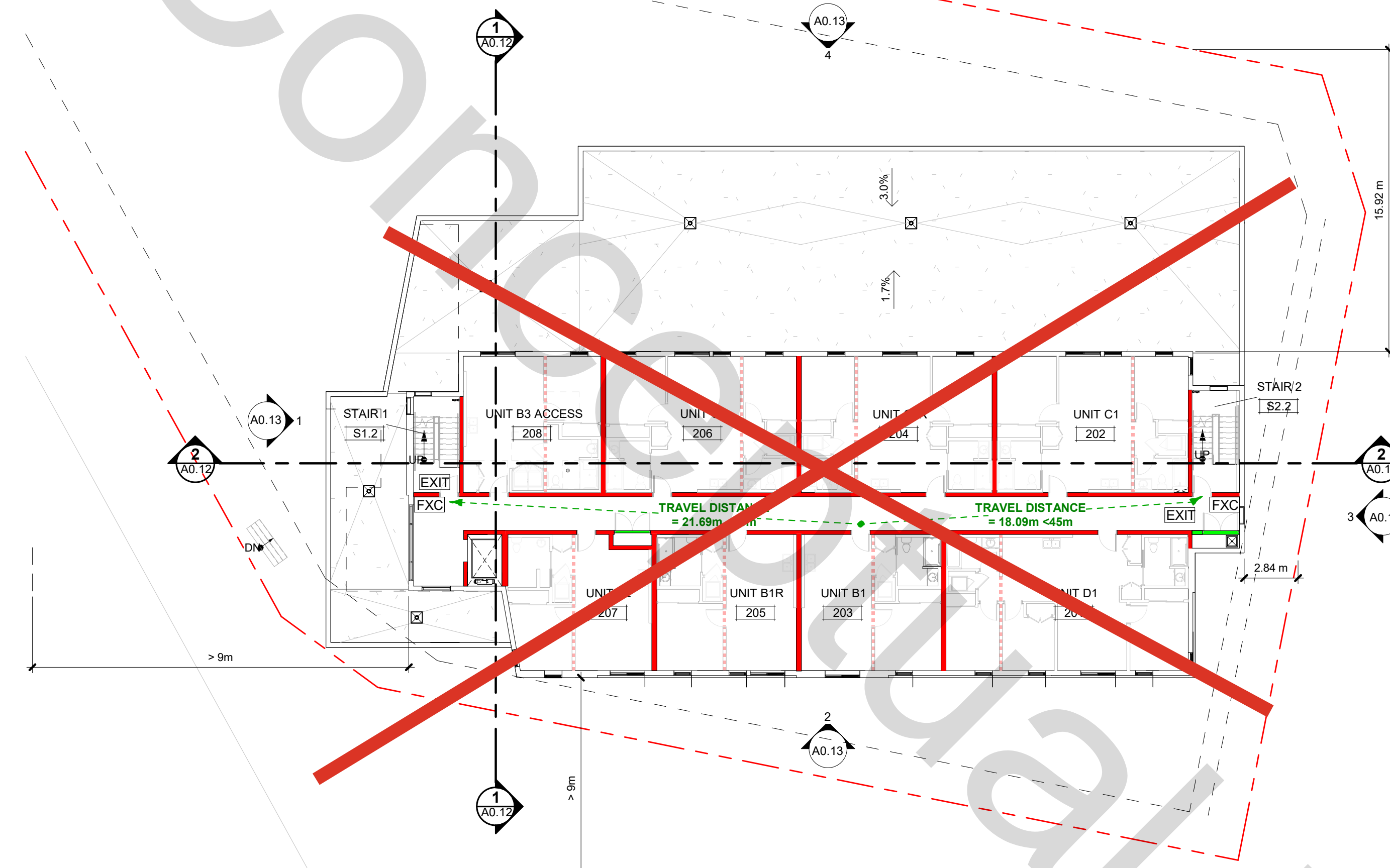
REFER TO TABLE 3.1.3.1. MAJOR OCCUPANCY FIRE SEPARATIONS  
 C - APARTMENTS (LEVEL 2-6)  
 A2 - DAYCARE FACILITY FOR CHILDREN  
 F3 - LOW HAZARD INDUSTRIAL (PARKING LEVEL)

**FIRE RESISTANCE RATING COLOUR LEGEND**

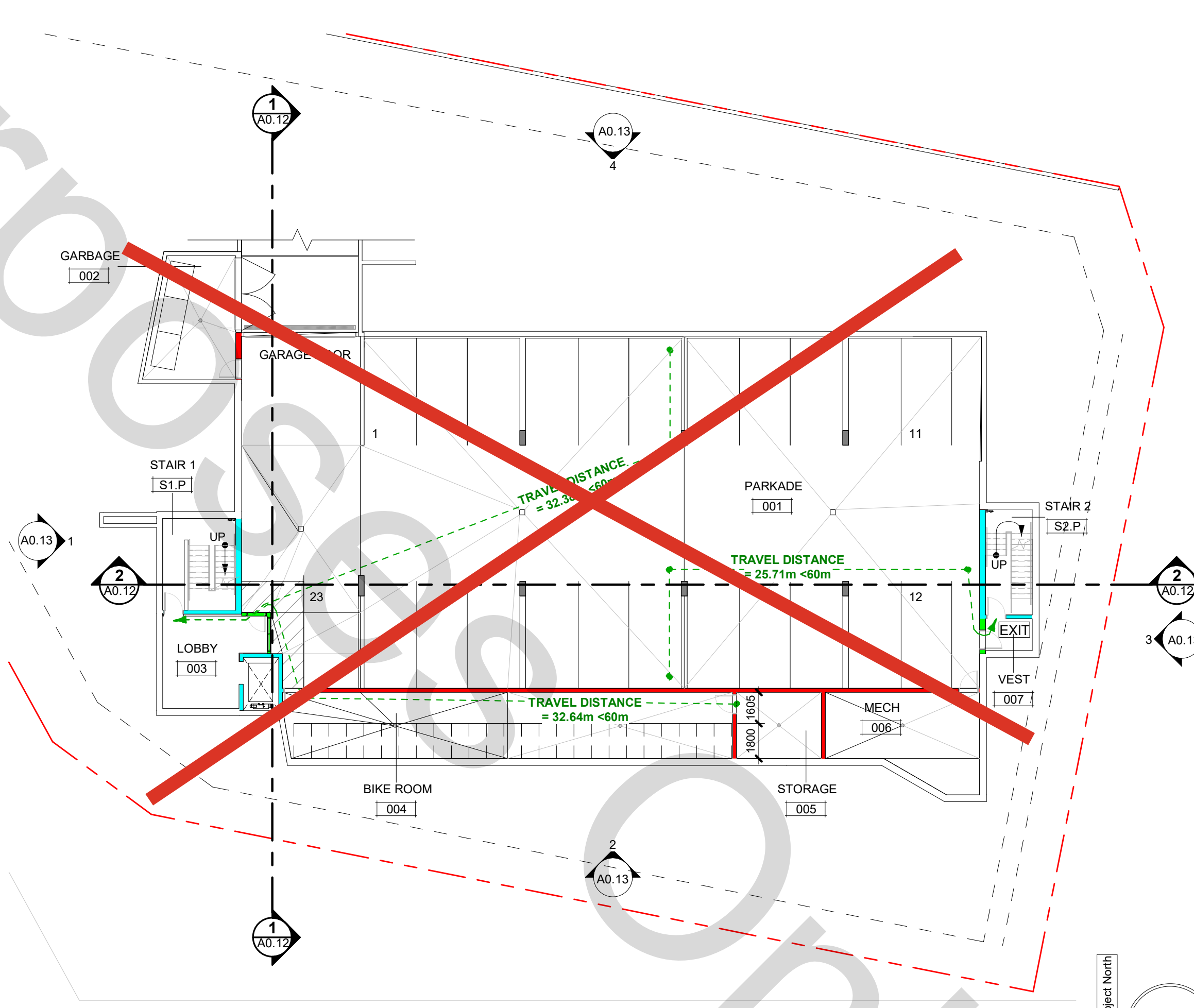
- NON RATED FIRE SEPARATION
- 30 MINUTE FIRE SEPARATION
- 45 MINUTE FIRE SEPARATION
- 1 HOUR FIRE SEPARATION  
ALL DOORS TO HAVE 45 MIN FIRE PROTECTION RATING (BCBC TABLE 3.1.8.4)  
DOORS BETWEEN CORRIDOR AND SUITES TO HAVE 20 MIN FIRE PROTECTION RATING (BCBC 3.1.8.10) ALL OTHER DOORS TO HAVE 45 MIN FIRE PROTECTION RATING
- 1.5 HOUR FIRE SEPARATION  
ALL DOORS TO HAVE 1 HOUR FIRE PROTECTION RATING (BCBC TABLE 3.1.8.4)
- 2 HOUR FIRE SEPARATION  
ALL DOORS TO HAVE 1.5 HOUR FIRE PROTECTION RATING (BCBC TABLE 3.1.8.4)
- 3 HOUR FIRE SEPARATION  
ALL DOORS TO HAVE 2 HOUR FIRE PROTECTION RATING (BCBC TABLE 3.1.8.4)
- 4 HOUR FIRE SEPARATION  
ALL DOORS TO HAVE 3 HOUR FIRE PROTECTION RATING (BCBC TABLE 3.1.8.4)
- 1HR FIRE RATED IN ACCORDANCE WITH THE BC BUILDING CODE FOR PURPOSES OTHER THAN A FIRE SEPARATION

**EXIT ROUTE LABEL**  
 EXIT ROUTE  
 EXIT ROUTE DISTANCE

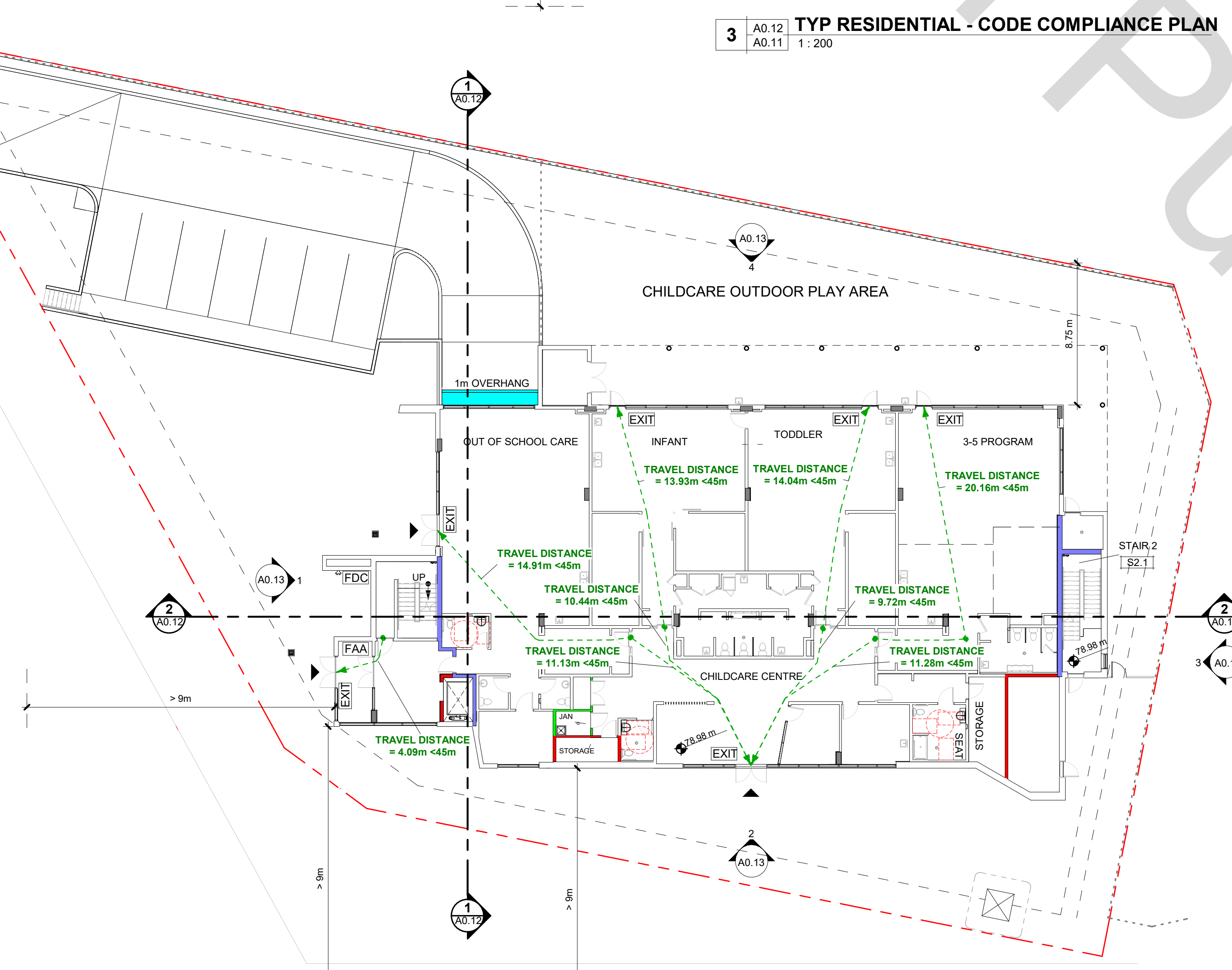
EXIT BUILDING EXIT  
 FAA FIRE ALARM ANNUCIATOR PANEL  
 FDC FIRE DEPARTMENT SIAMESE CONNECTION  
 FXC SEMI-RECESSED FIRE EXTINGUISHER CABINET  
 FH FIRE HYDRANT



3 A0.12 TYP RESIDENTIAL - CODE COMPLIANCE PLAN  
A0.11 1:200



1 A0.12 PARKADE - CODE COMPLIANCE  
A0.11 1:200

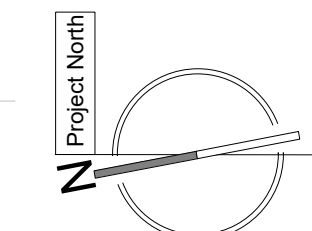


2 A0.12 LEVEL 1 - CODE COMPLIANCE PLAN  
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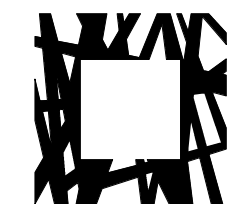
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PLOT DATE: 2024-02-03 6:17:53 PM

GOLD STREAM AVE.



Conceptual



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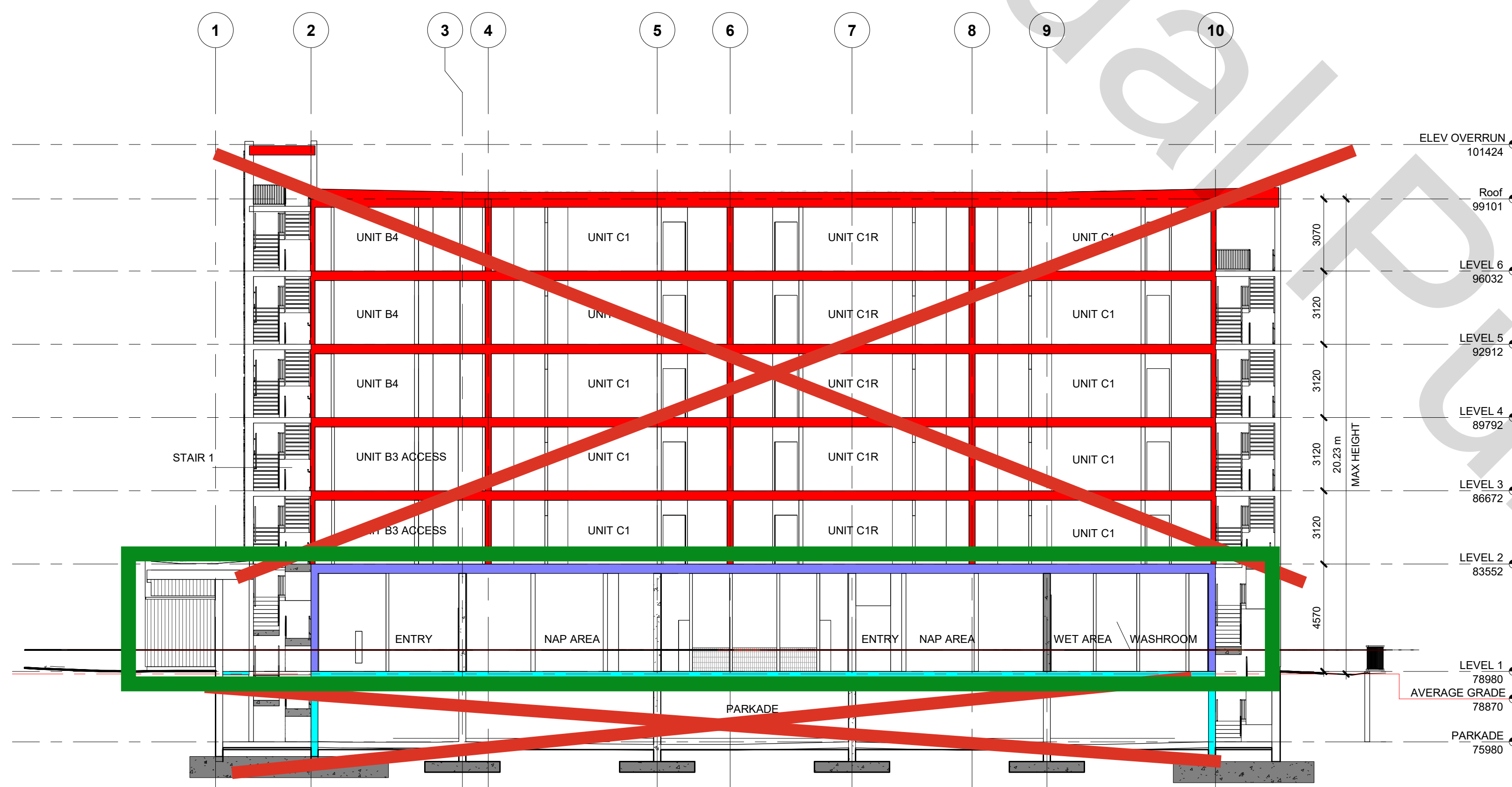
Disregard parkade and L2-L6 design.  
For ground floor conceptual purposes only

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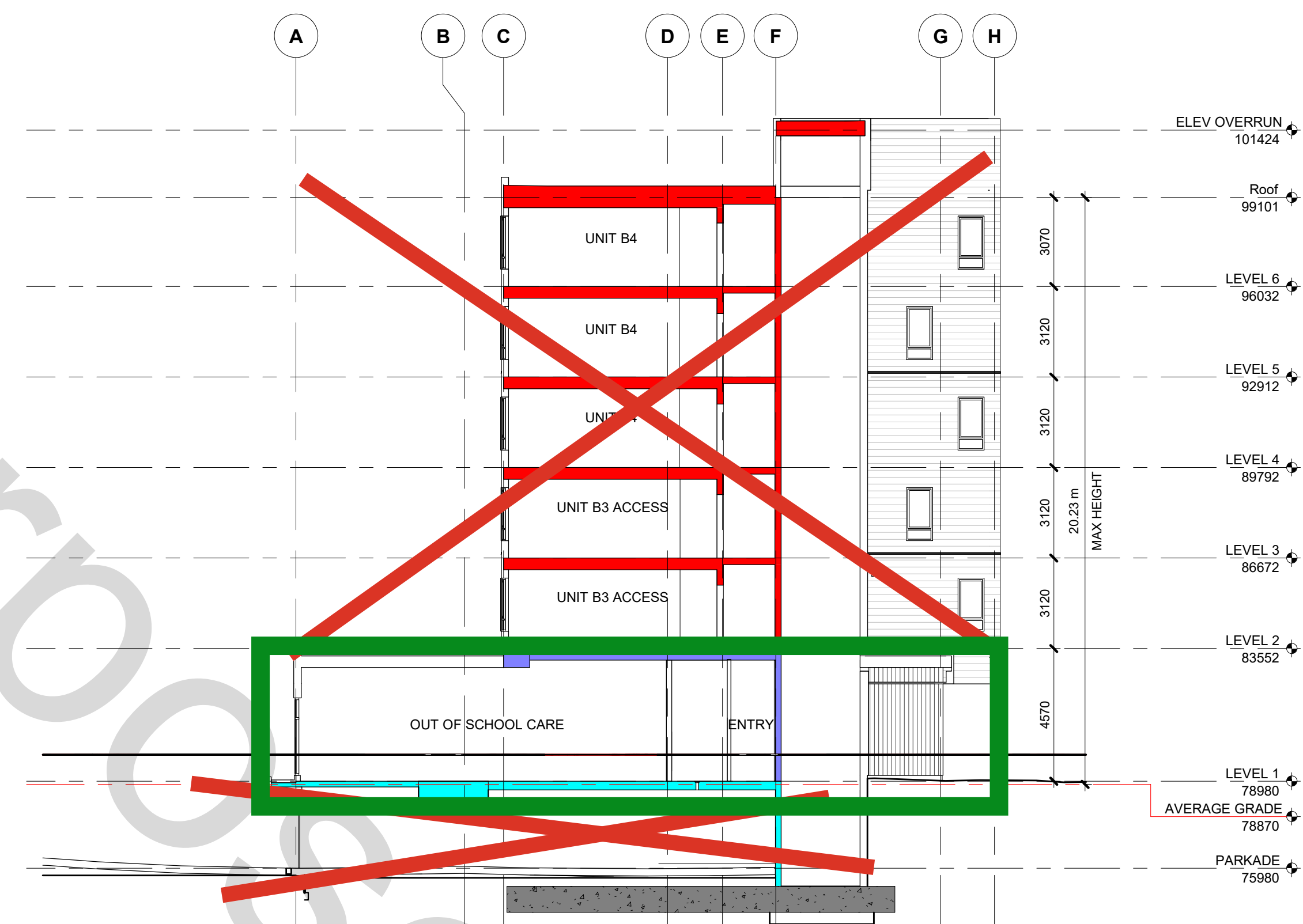


**2805 CARLOW HOUSING**

2805 CARLOW RD, VICTORIA, BC



**2** A0.11 BUILDING SECTION 2 - CODE  
A0.12 1:150



**1** A0.11 BUILDING SECTION 1 - CODE  
A0.12 1:150

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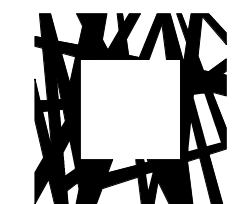
No Date Issued

No	Date	Revised
Principal in Charge: JL Drawn By: TD		
Reviewed By: SK		
Project number: 24.12		
Sheet title:		

**CODE COMPLIANCE - SECTIONS**

Sheet number  
**A0.12**  
Sheet in set: 1 Revision  
File name: 2412\_MHS\_Carlow  
Plot date: 251212

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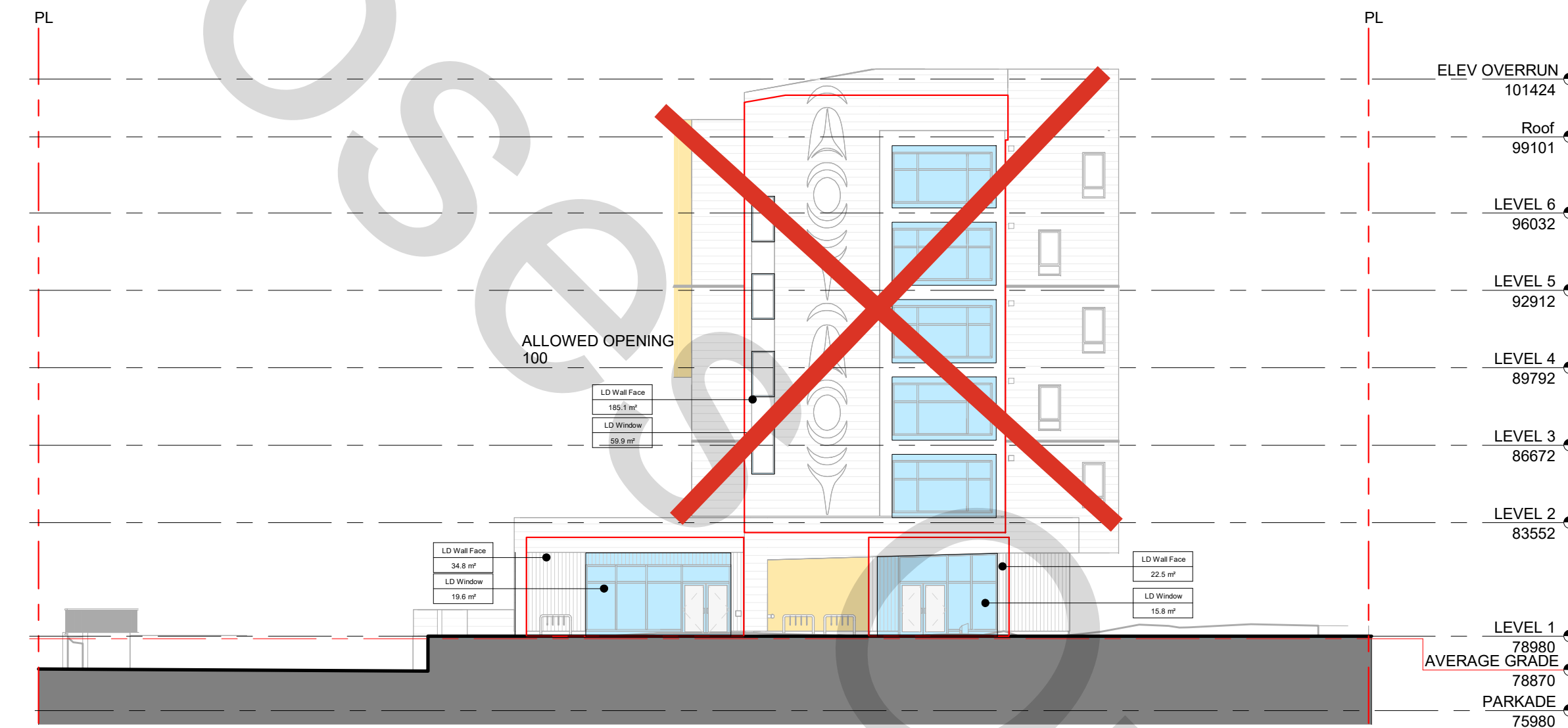
**4** A0.11 A0.13 **East Elevation Code**  
1 : 200



**2** A0.11 A0.13 **West Elevation Code**  
1 : 200



**3** A0.11 A0.13 **South Elevation Code**  
1 : 200



**1** A0.11 A0.13 **North Elevation Code**  
1 : 200

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2805 CARLOW RD, VICTORIA, BC

No	Date	Issued

No	Date	Revised

Principal in Charge	JL	Drawn By	TD
Reviewed By			SK

Project number 24.12

Sheet title

**CODE COMPLIANCE - ELEVATIONS**

Sheet number

**A0.13**

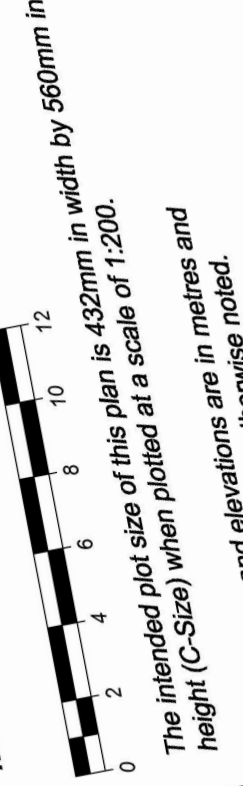
Sheet in set 1 Revision

File name 2412\_MHS\_Carlow

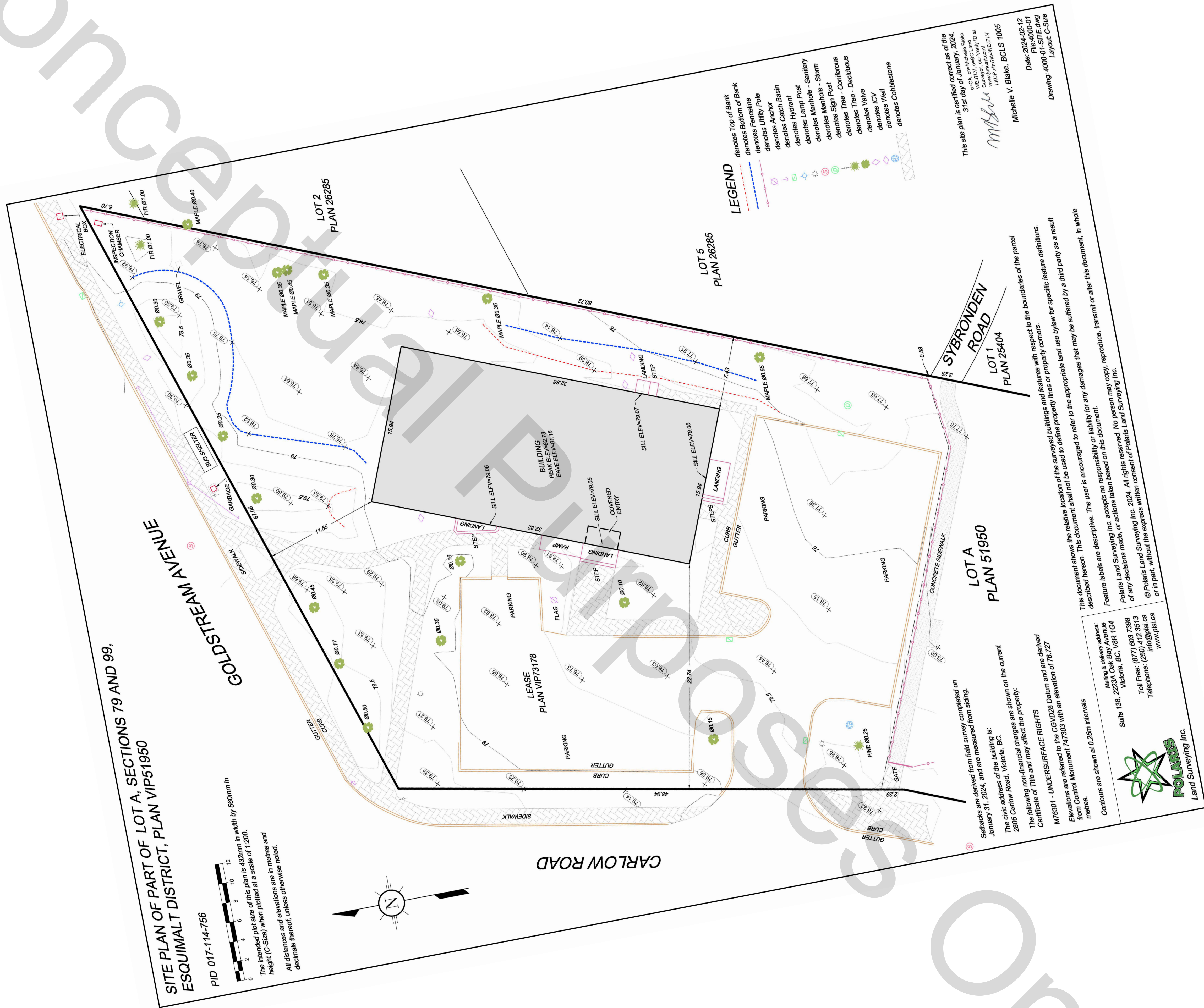
Plot date 251212

**SITE PLAN OF PART OF LOT A, SECTIONS 79 AND 99,  
 ESQUIMALT DISTRICT, PLAN VIP51950**

PID 017-114-756



The indicated plot size of this plan is 432mm in width by 560mm in height (C-Size) when plotted at a scale of 1:200.  
 All distances and elevations are in metres and decimals thereof, unless otherwise noted.

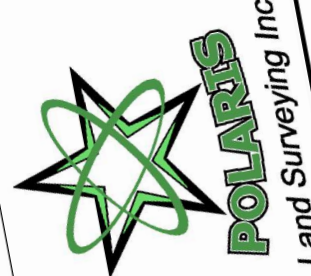


- LEGEND**
- denotes Top of Bank
  - denotes Bottom of Bank
  - denotes Fenceline
  - denotes Utility Pole
  - denotes Anchor
  - denotes Catch Basin
  - denotes Hydrant
  - denotes Lamp Post
  - denotes Manhole - Sanitary
  - denotes Manhole - Storm
  - denotes Sign Post
  - denotes Tree - Coniferous
  - denotes Tree - Deciduous
  - denotes Valve
  - denotes CV
  - denotes Well
  - denotes Cobblestone

This site plan is certified correct as of the 31st day of January, 2024.  
 Michelle V. Blake, BCLS 1005  
 Date: 2024-02-12  
 File: 400-01-114-756.dwg  
 Drawing: 4000-01-SIT-C-Size  
 Layout: C-Size

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.  
 Feature labels are descriptive. The user is encouraged to refer to the appropriate land use bylaw for specific feature definitions.  
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**2805 CARLOW HOUSING**

2805 CARLOW RD, VICTORIA, BC

No	Date	Issued

No	Date	Revised

Principal in Charge	Checker	Drawn By	Author

Project number	24.12

Sheet title	SITE SURVEY

For site plan, please refer to Sheet A011 of the LHRA Issued for Class D Costing April 2026 Architectural drawings. Please note these are for concept purposes only.



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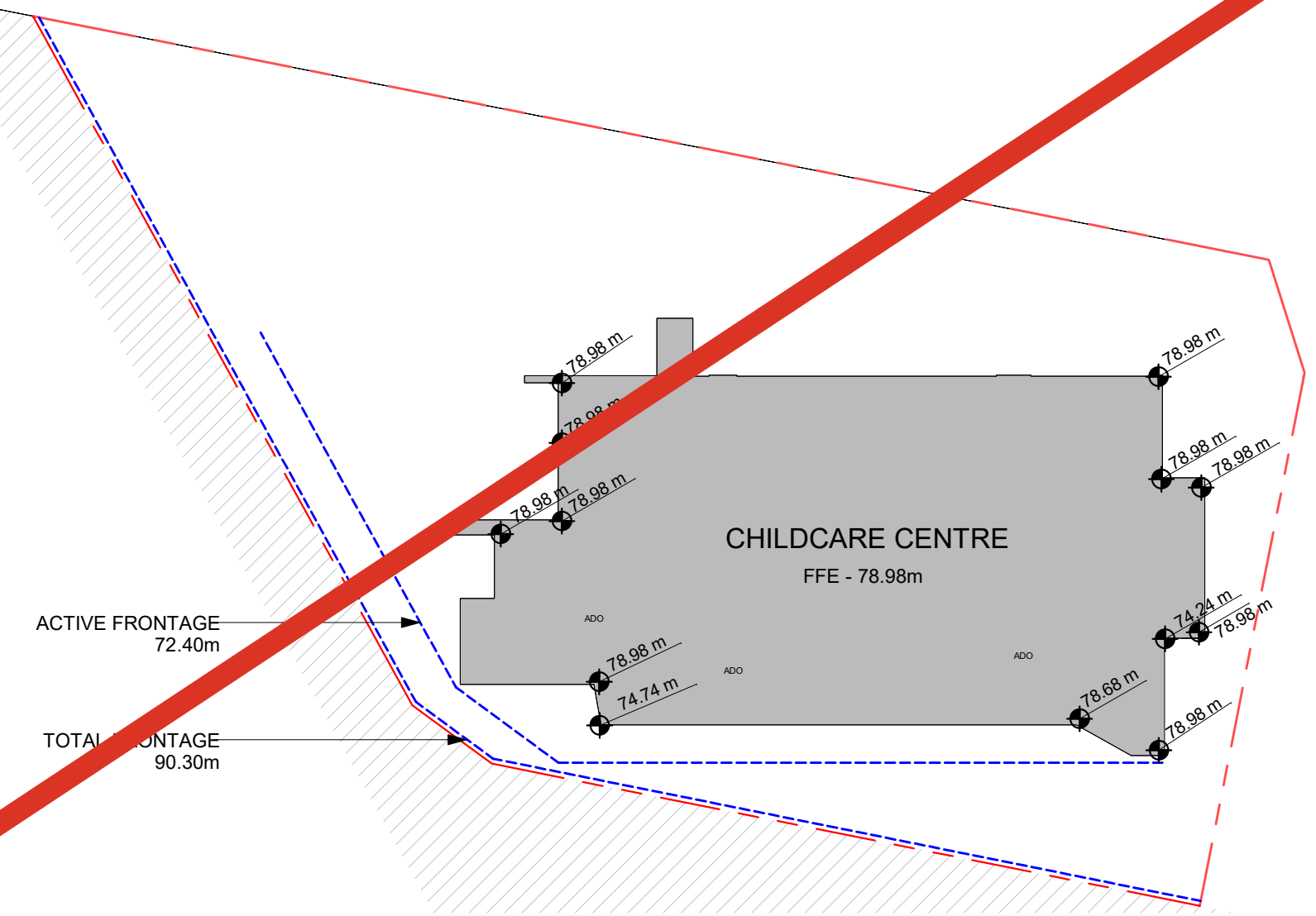
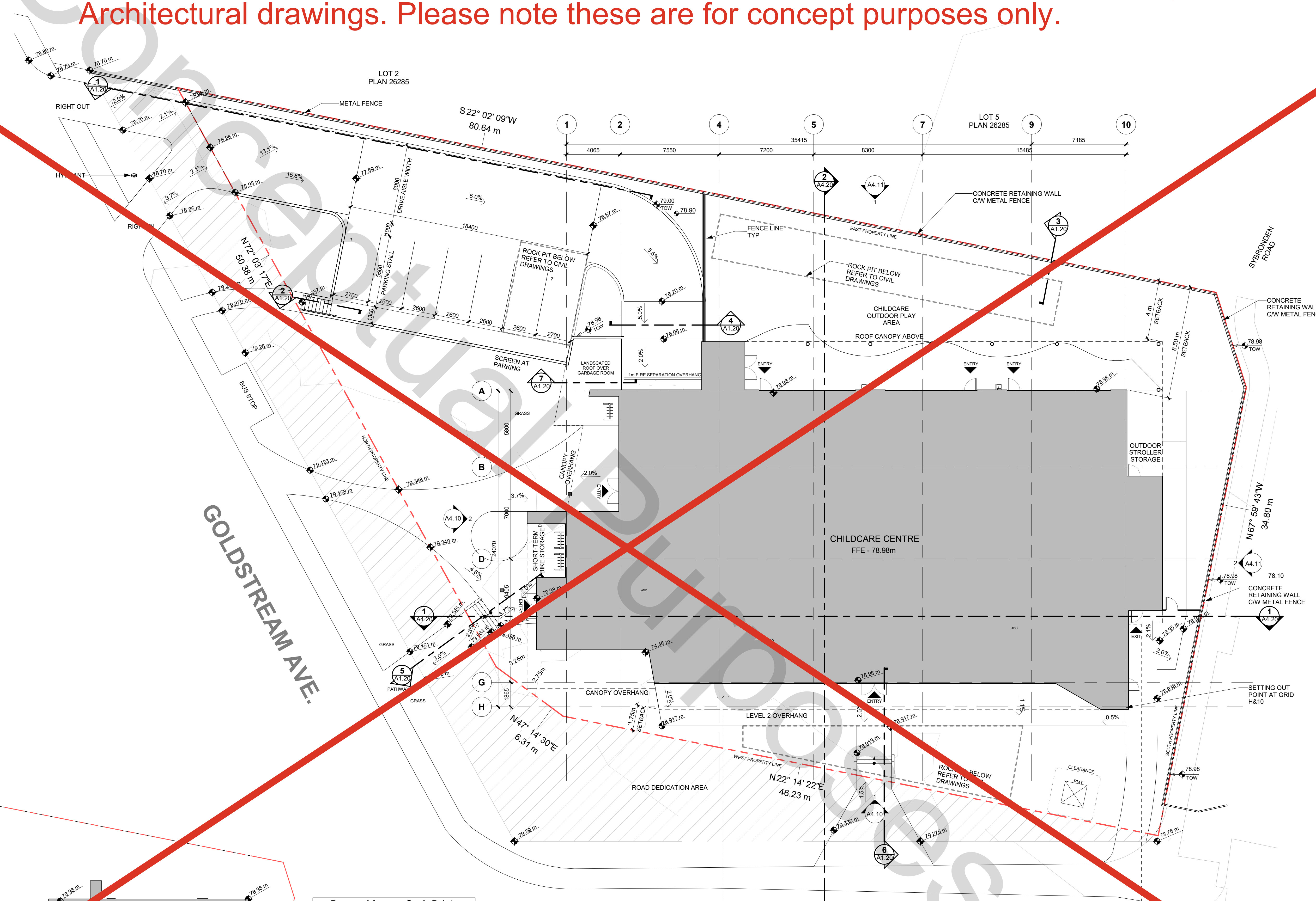
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**2805 CARLOW HOUSING**

2805 CARLOW RD, VICTORIA, BC



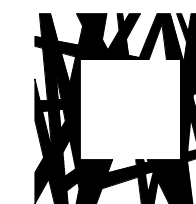
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2	78.68	
3	78.79	
4	78.9	
5	78.98	
6	78.98	
7	78.98	
8	78.98	
9	78.98	
10	78.98	
11	78.98	
12	78.98	
13	78.98	
14	78.61	
15	78.98	
16	78.96	1262.72/16= 78.87 m
		1262.72

**1** A0.12 **AVERAGE GRADE AND ACTIVE FRONTAGE**  
A1.11 1:400

**2** A0.12 **SITE PLAN**  
A1.11 1:150

No	Date	Issued	No	Date	Revised
Principal in Charge	JL	Drawn By	TD		
		Reviewed By	SK		
Project number	24.12				
Sheet title	SITE PLAN				
Sheet number	<b>A1.11</b>				
Sheet in set	1	Revision			
File name	2412_MHS_Carlow				
Plot date	25/12/21				

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 PLOTTED: 2024-12-23 11:18:04 PM



**DIMENSION NOTE (UNLESS OTHERWISE NOTED):**

1. ALL DOORS DIMENSIONED TO HINGE SIDE OF OPENING.
2. INTERIOR WALLS DIMENSIONED TO THE FACE OF WOOD STUDS AND STEEL STUDS.
3. SHEAR WALLS DIMENSIONED TO THE FACE OF PLYWOOD.
4. CONCRETE AND CMU WALLS DIMENSIONED TO FACE.
5. STRUCTURAL COLUMNS DIMENSIONED TO CENTER LINE OR FACE OF COLUMN AS SHOWN.

REFER TO A7.00 SERIES FOR LEVEL 1 CHILDCARE PLAN ENLARGMENTS AND INTERIOR ELEVATIONS

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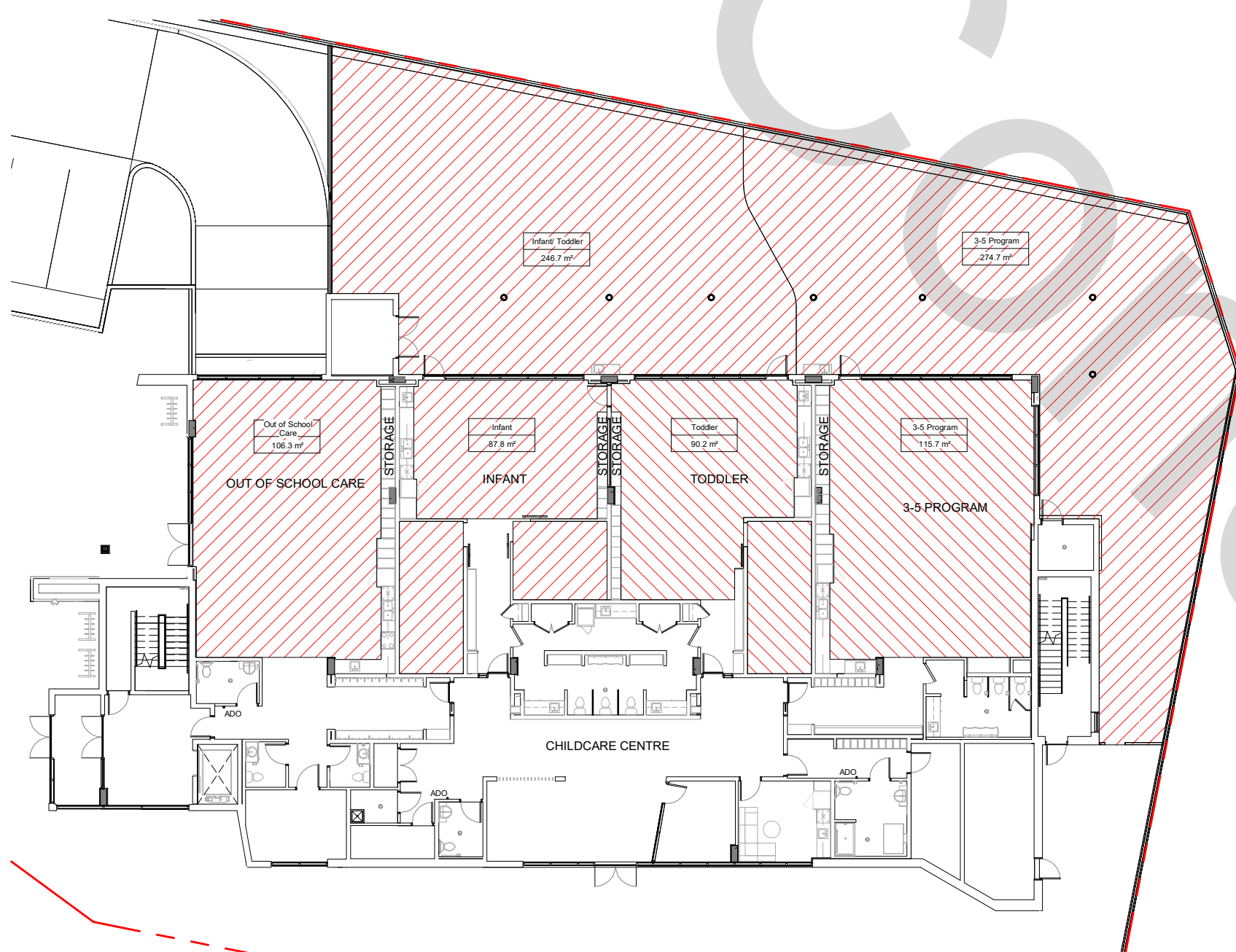
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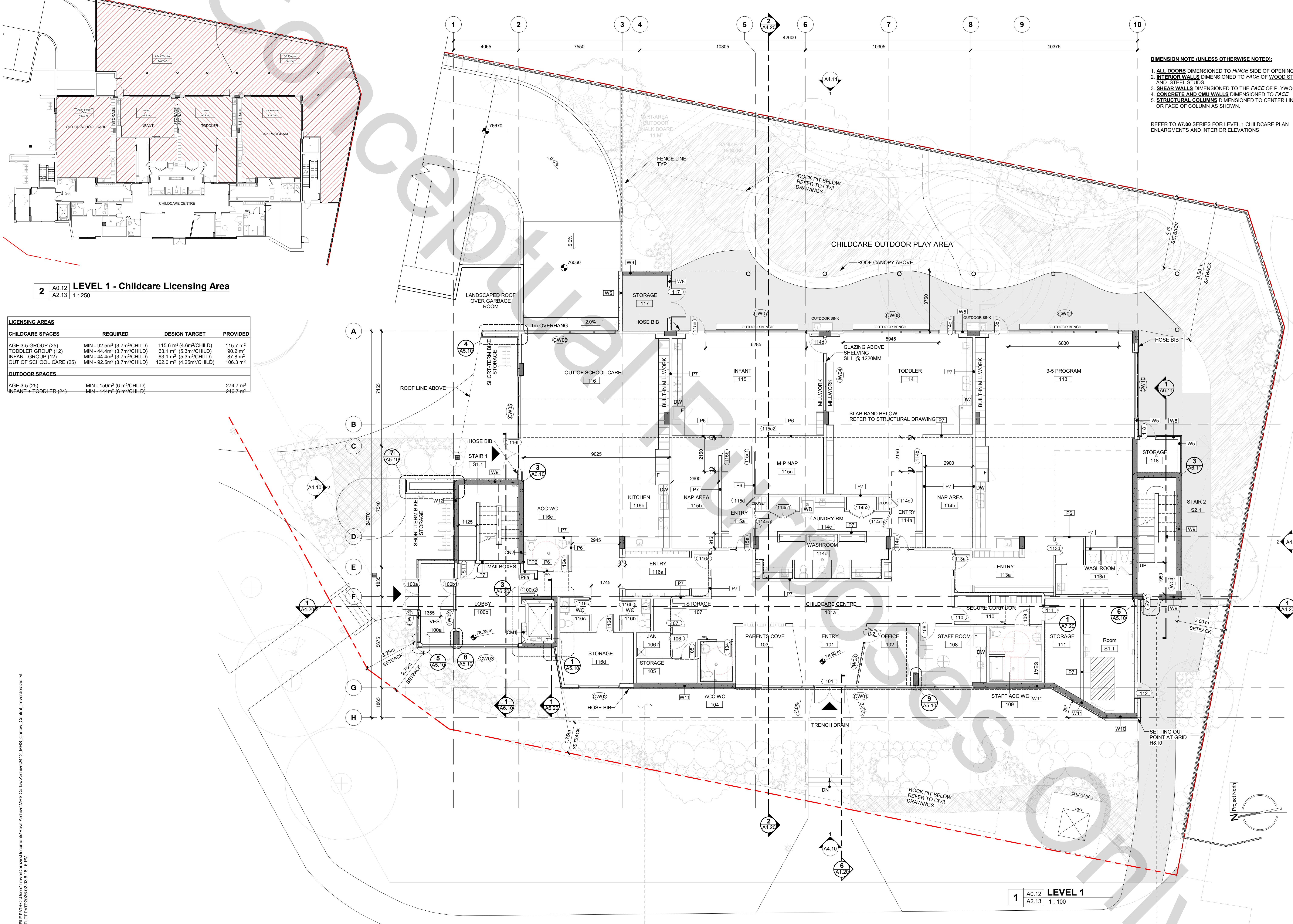
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**2 A0.12 LEVEL 1 - Childcare Licensing Area**  
A2.13 | 1 : 250

LICENSING AREAS			
CHILDCARE SPACES	REQUIRED	DESIGN TARGET	PROVIDED
AGE 3-5 GROUP (25)	MIN - 92.5m <sup>2</sup> (3.7m <sup>2</sup> /CHILD)	115.6 m <sup>2</sup> (4.6m <sup>2</sup> /CHILD)	115.7 m <sup>2</sup>
TODDLER GROUP (12)	MIN - 44.4m <sup>2</sup> (3.7m <sup>2</sup> /CHILD)	63.1 m <sup>2</sup> (5.3m <sup>2</sup> /CHILD)	90.2 m <sup>2</sup>
INFANT GROUP (12)	MIN - 44.4m <sup>2</sup> (3.7m <sup>2</sup> /CHILD)	63.1 m <sup>2</sup> (5.3m <sup>2</sup> /CHILD)	87.8 m <sup>2</sup>
OUT OF SCHOOL CARE (25)	MIN - 92.5m <sup>2</sup> (3.7m <sup>2</sup> /CHILD)	102.0 m <sup>2</sup> (4.25m <sup>2</sup> /CHILD)	106.3 m <sup>2</sup>
OUTDOOR SPACES			
AGE 3-5 (25)	MIN - 150m <sup>2</sup> (6 m <sup>2</sup> /CHILD)		274.7 m <sup>2</sup>
INFANT + TODDLER (24)	MIN - 144m <sup>2</sup> (6 m <sup>2</sup> /CHILD)		246.7 m <sup>2</sup>



**1 A0.12 LEVEL 1**  
A2.13 | 1 : 100

No	Date	Issued

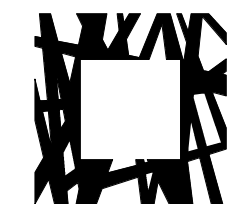
  

No	Date	Revised

Principal in Charge	JL	Drawn By	TD
		Reviewed By	SK
Project number	24.12		
Sheet title			

**FLOOR PLAN - LEVEL 1**

Sheet number	<b>A2.13</b>
Sheet in set	1
Revision	
File name	2412_MHS_Carlow
Plot date	251212

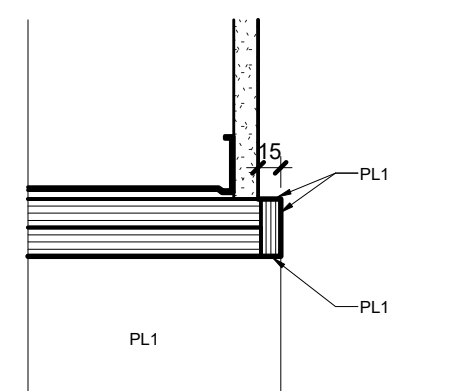


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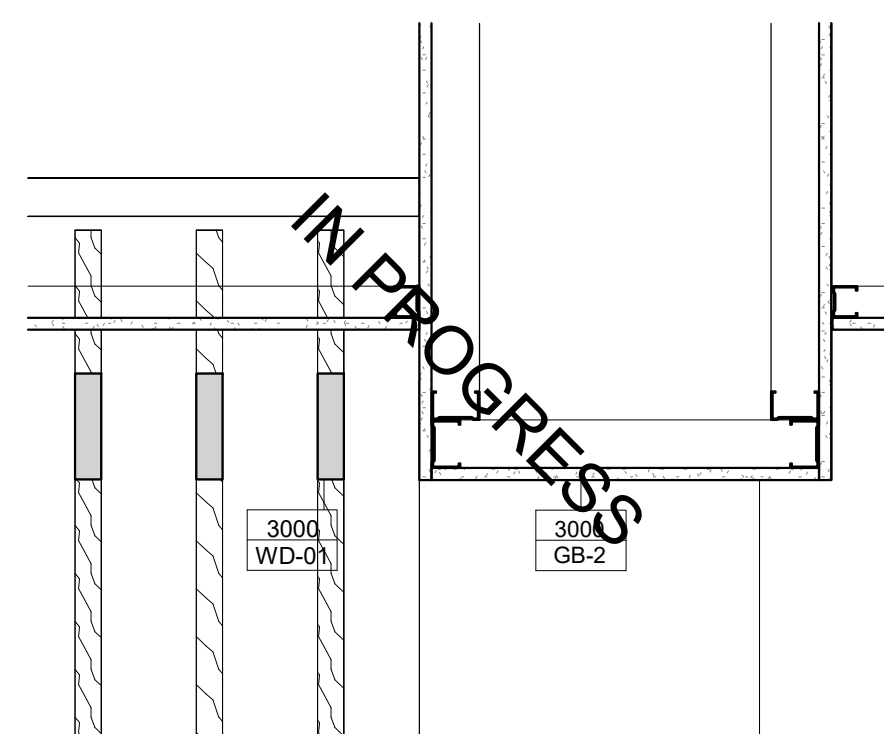


2805 CARLOW HOUSING

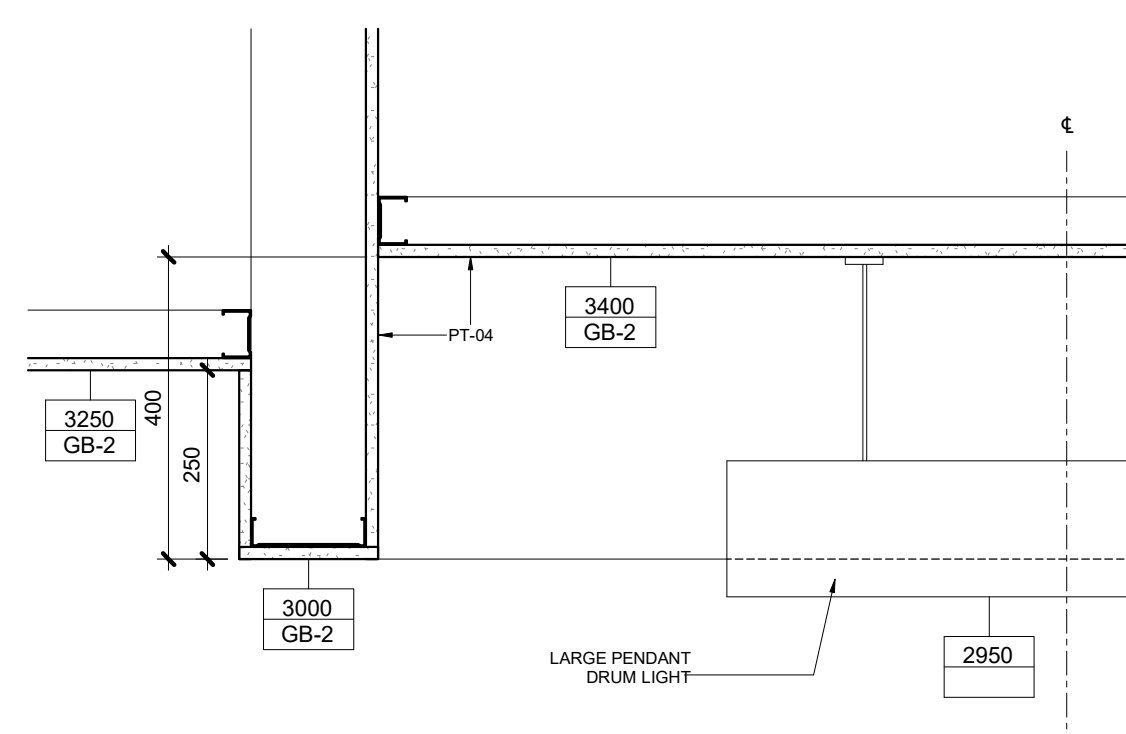
2805 CARLOW RD, VICTORIA, BC



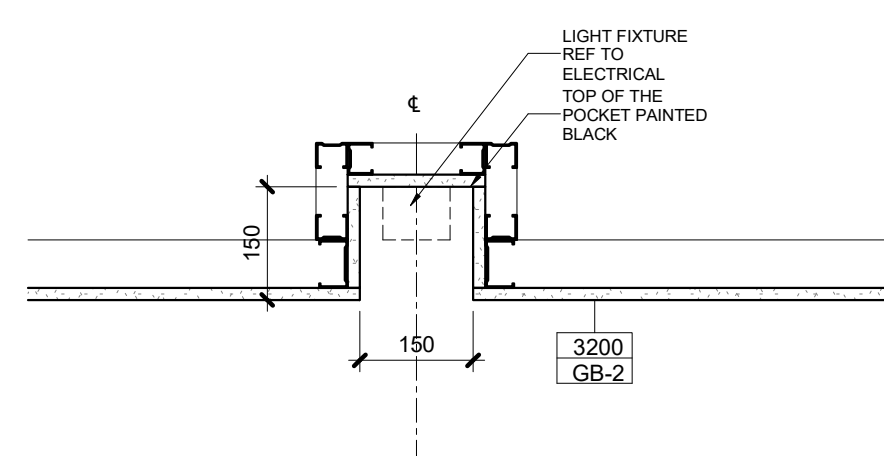
8 MW11 DETAIL  
A7.20  
A7.20  
1:5



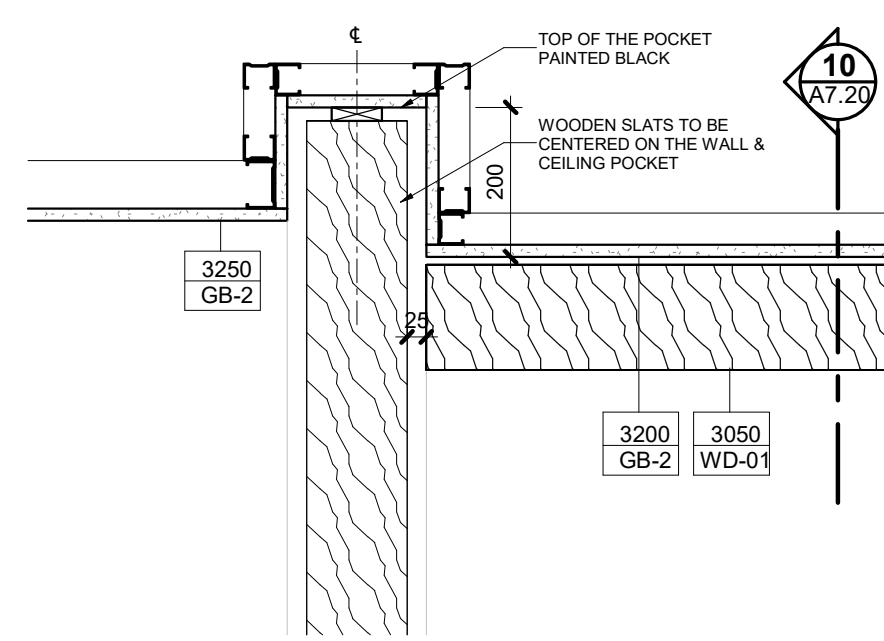
10 WOOD CEILING DETAIL  
A7.20  
A7.20  
1:10



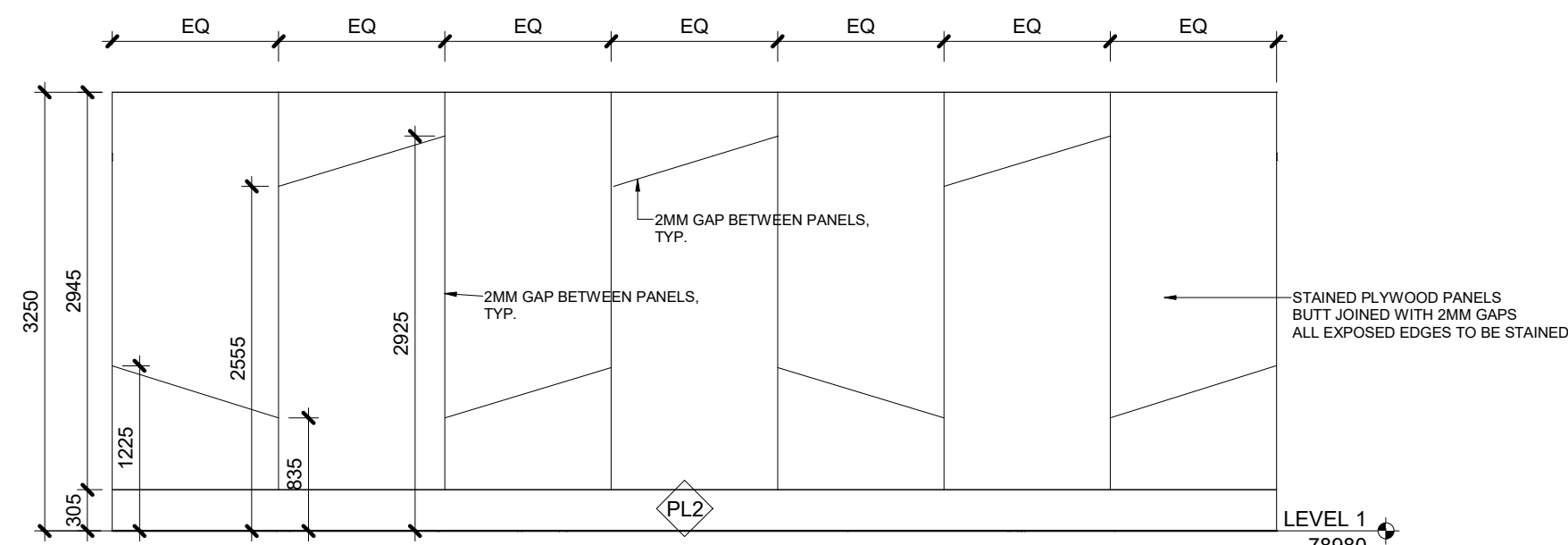
7 DETAIL@LIGHT WELL  
A7.20  
A7.20  
1:10



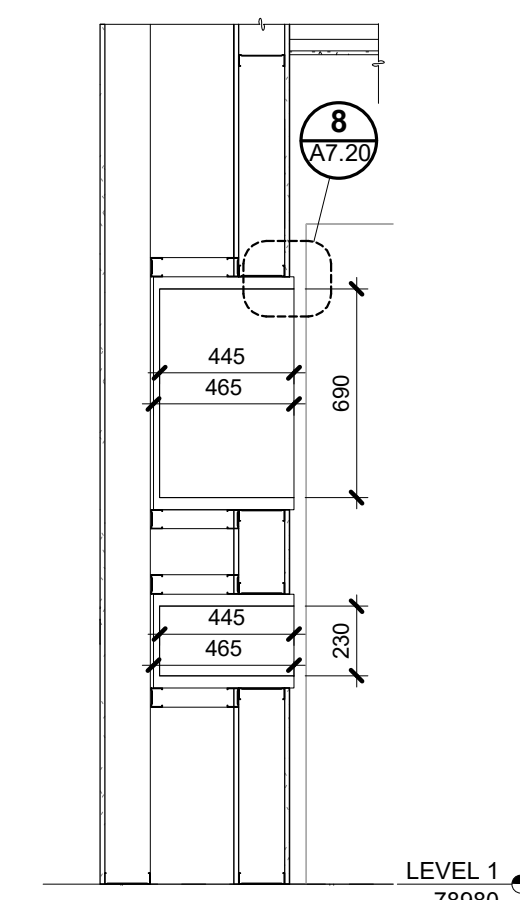
9 DETAIL@LIGHT COVE  
A7.20  
A7.20  
1:10



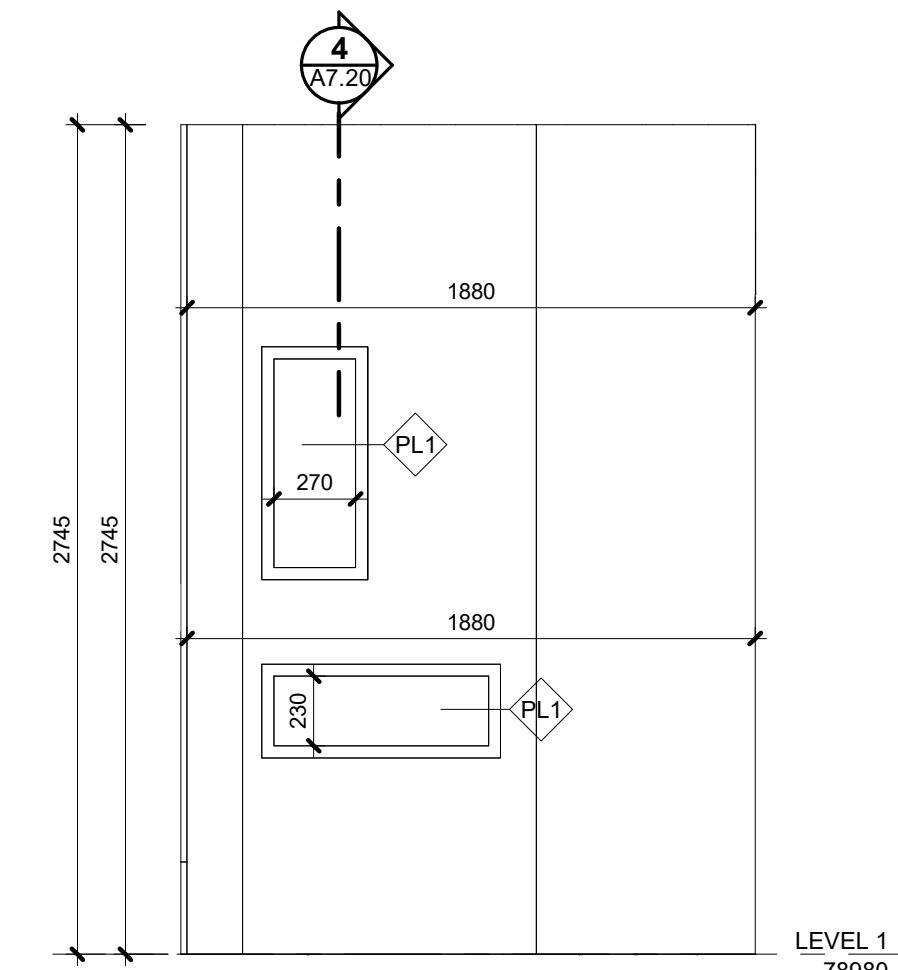
6 WOOD CEILING TOP DETAIL  
A7.20  
A7.20  
1:10



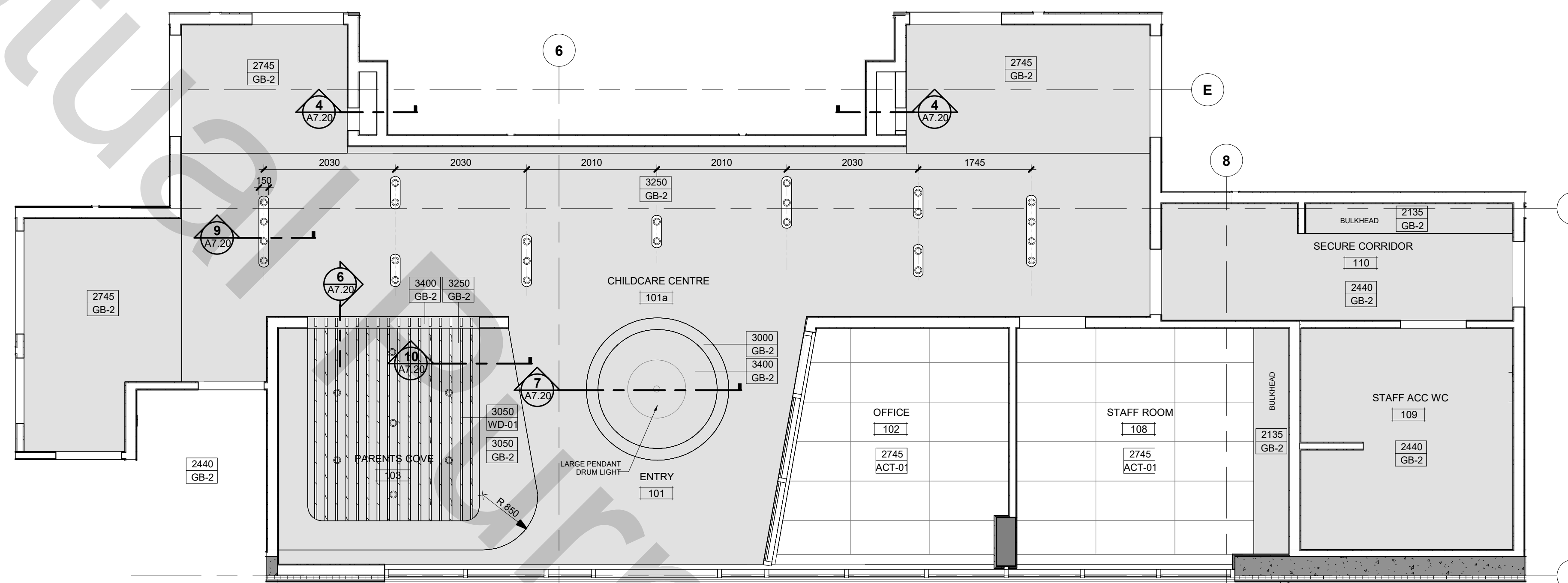
5 MAIN ENTRY FEATURE WALL  
A7.20  
A7.20  
1:50



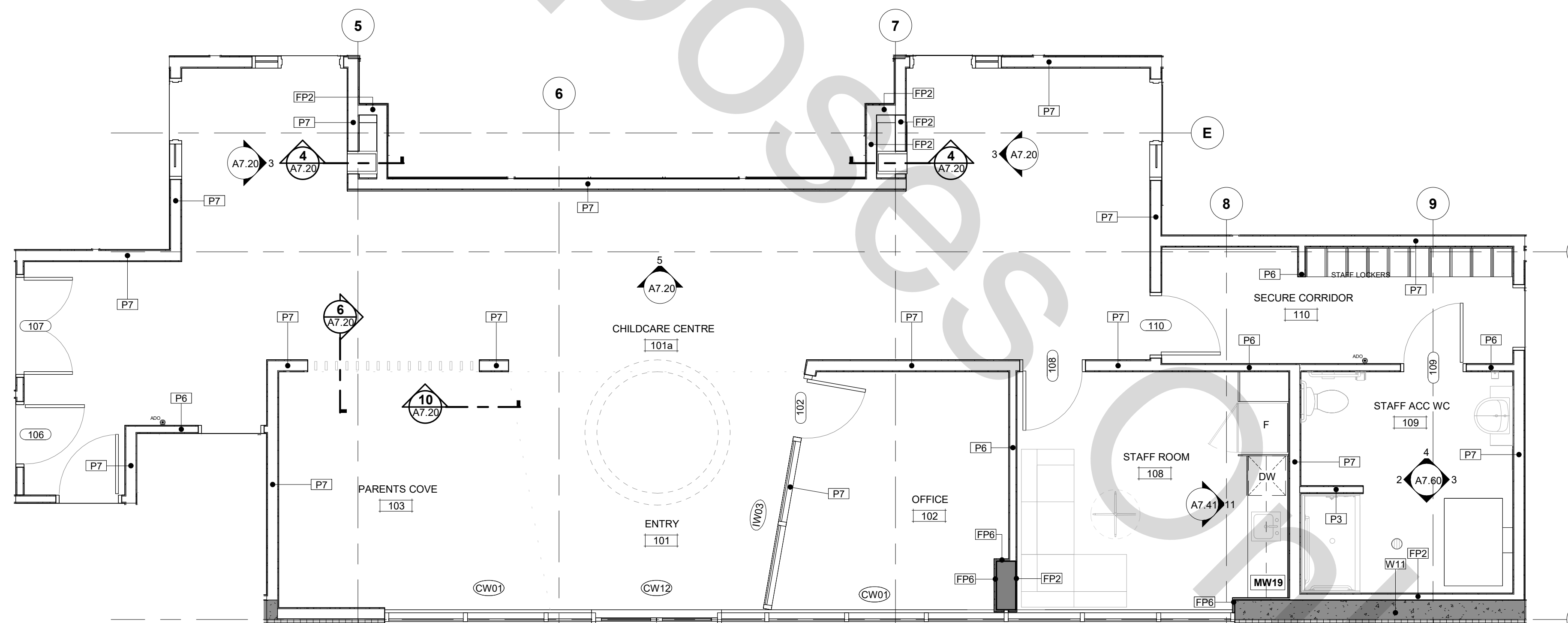
4 MW11 SECTION  
A7.20  
A7.20  
1:25



3 MW11 - BUILT-IN SHELVES  
A7.20  
A7.20  
1:25



2 REFLECTED CEILING PLAN - LEVEL 1  
A7.20  
1:50



1 LEVEL 1 - MAIN ENTRY  
A2.13  
A7.20  
1:50

No Date Issued

No Date Revised

Principal in Charge: Checker, Drawn By, Author, Reviewed By: SK

Project number: 24.12

Sheet title:

INTERIOR ELEVATIONS AND ENLARGED PLANS

Sheet number:

A7.20

Sheet in set: 1 Revision

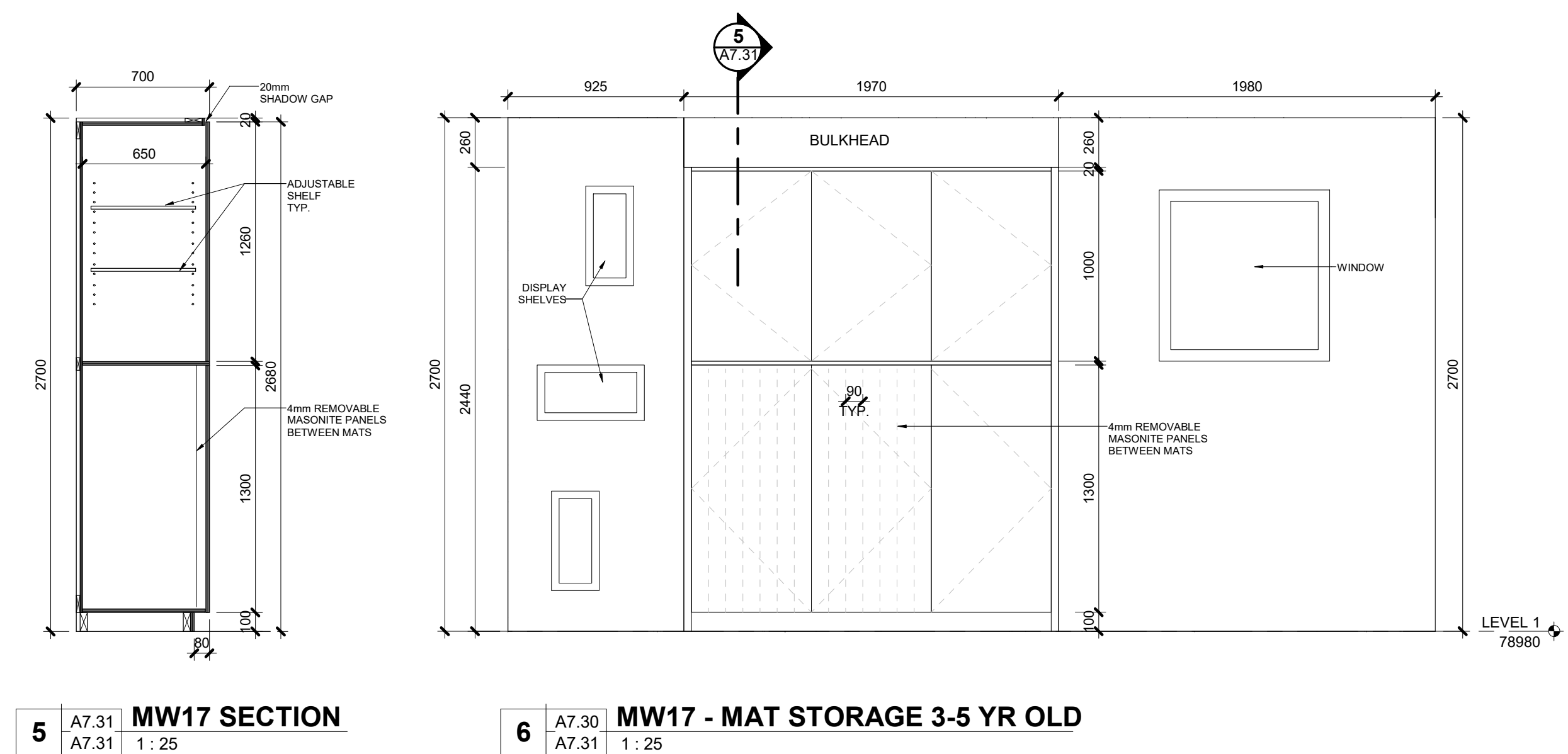
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Plot date: 251212



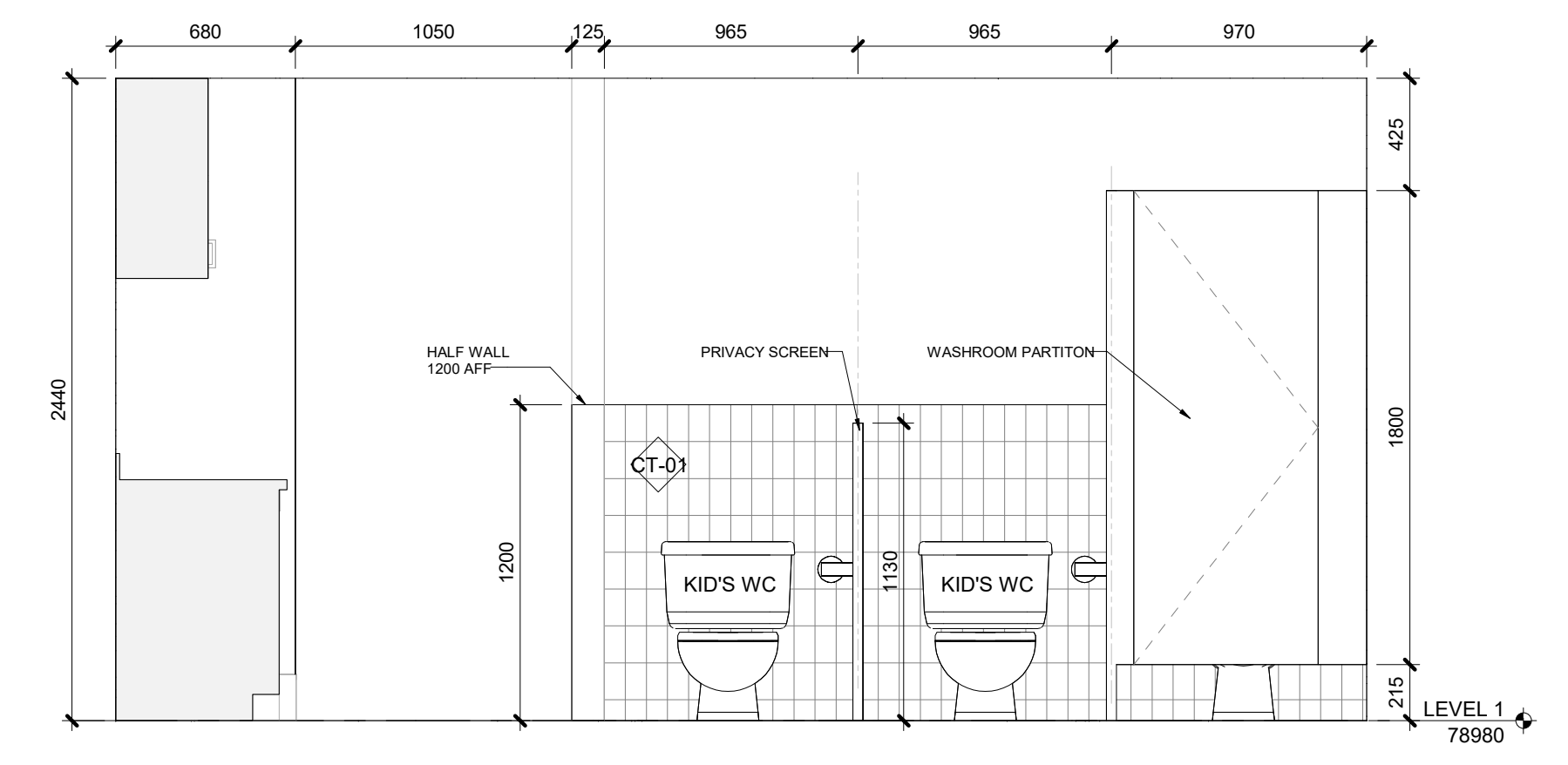
Conceptual Purpose

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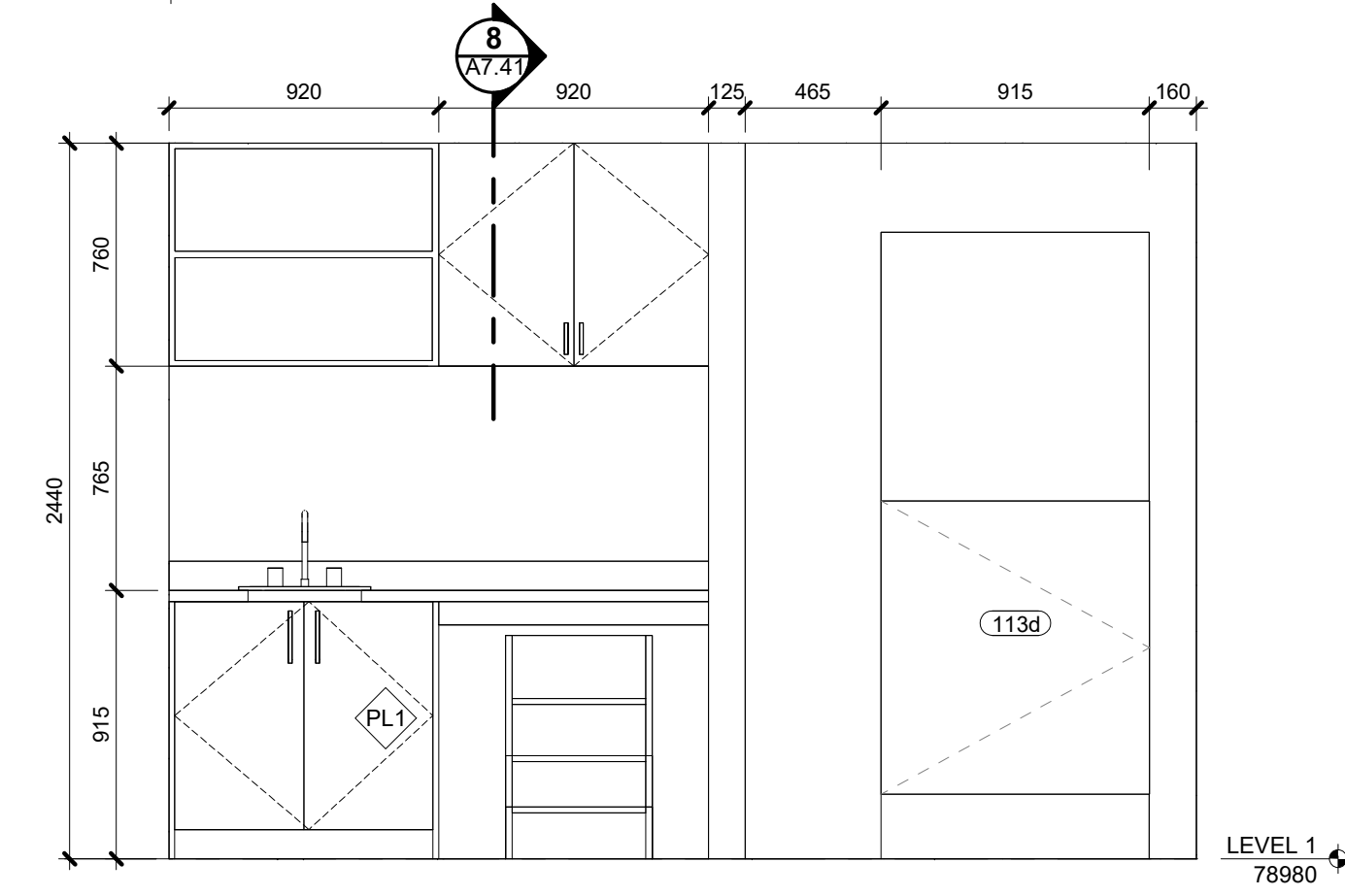


**5** A7.31 MW17 SECTION  
A7.31 1:25

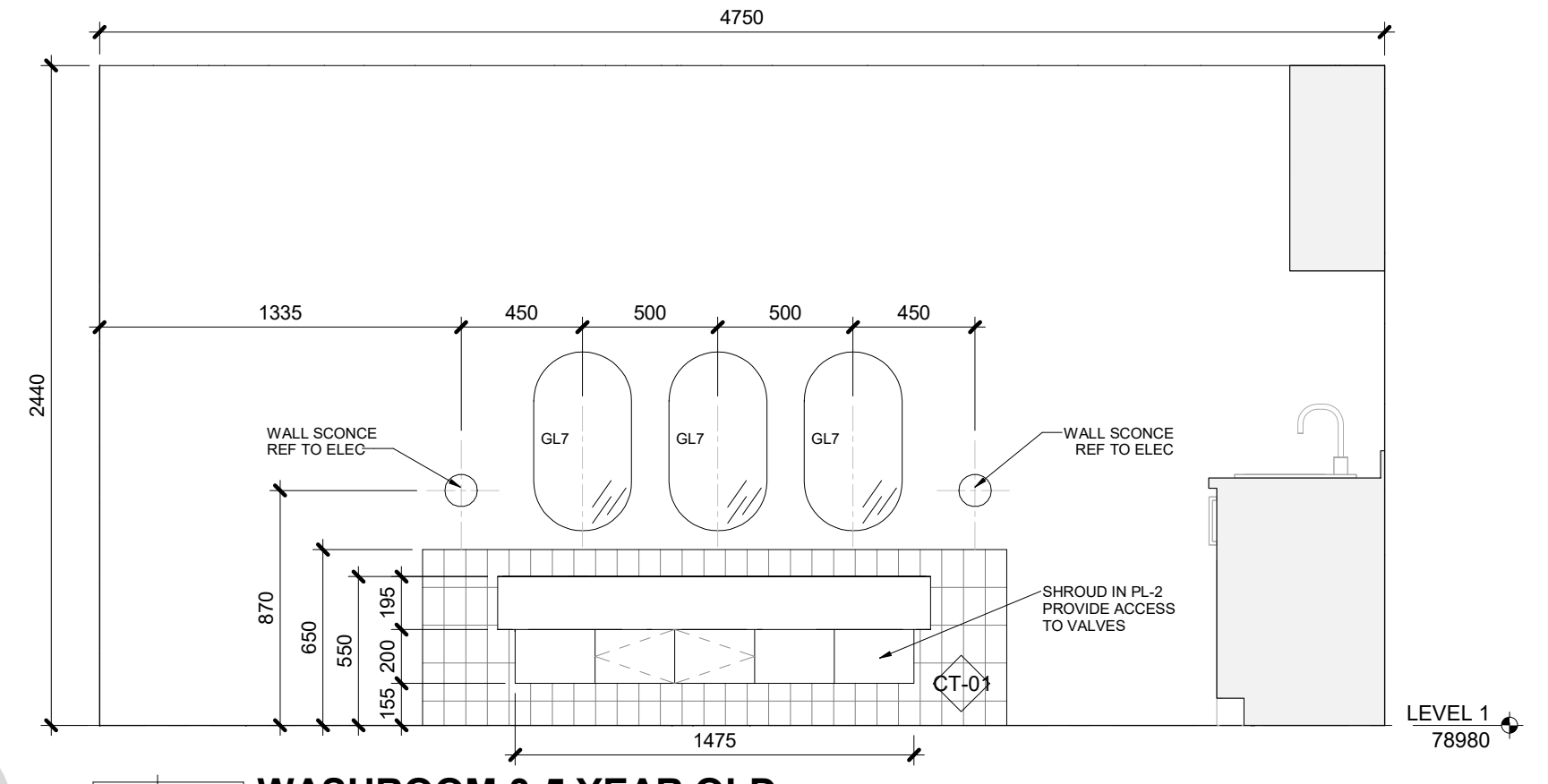
**6** A7.30 MW17 - MAT STORAGE 3-5 YR OLD  
A7.31 1:25



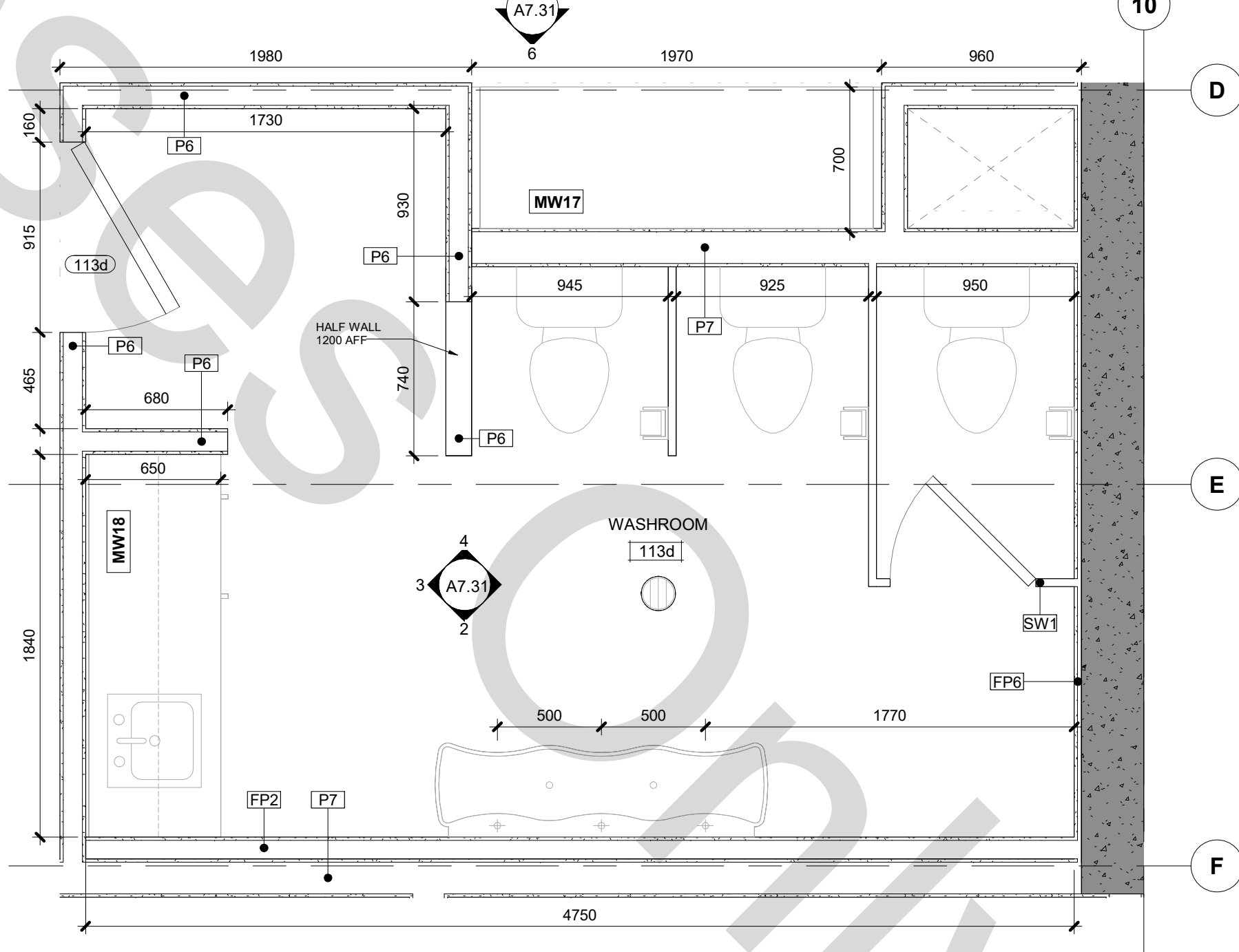
**4** A7.30 WASHROOM 3-5 YEAR OLD ELEVATION 4  
A7.31 1:25



**3** A7.30 MW18 CHANGE TABLE AGE 3-5  
A7.31 1:25



**2** A7.30 WASHROOM 3-5 YEAR OLD  
A7.31 1:25



**1** A7.30 LEVEL 1 - WASHROOM 3-5 YEAR OLD  
A7.31 1:25

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2805 CARLOW RD, VICTORIA, BC

No Date Issued

No Date Revised

Principal in Charge: **Checker** Drawn By: **Author**  
 Reviewed By: **SK**

Project number: **24.12**

Sheet title:

**INTERIOR ELEVATIONS AND ENLARGED PLANS**

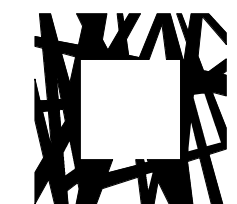
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Sheet in set: **1** Revision:

File name: **2412\_MHS\_Carlow**

Plot date: **251212**



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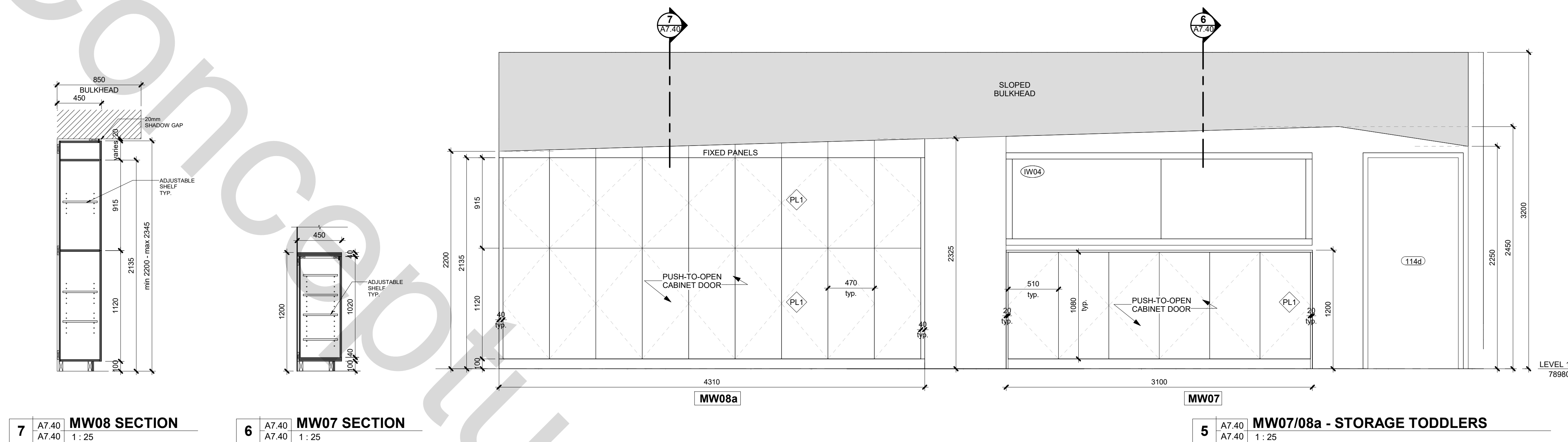
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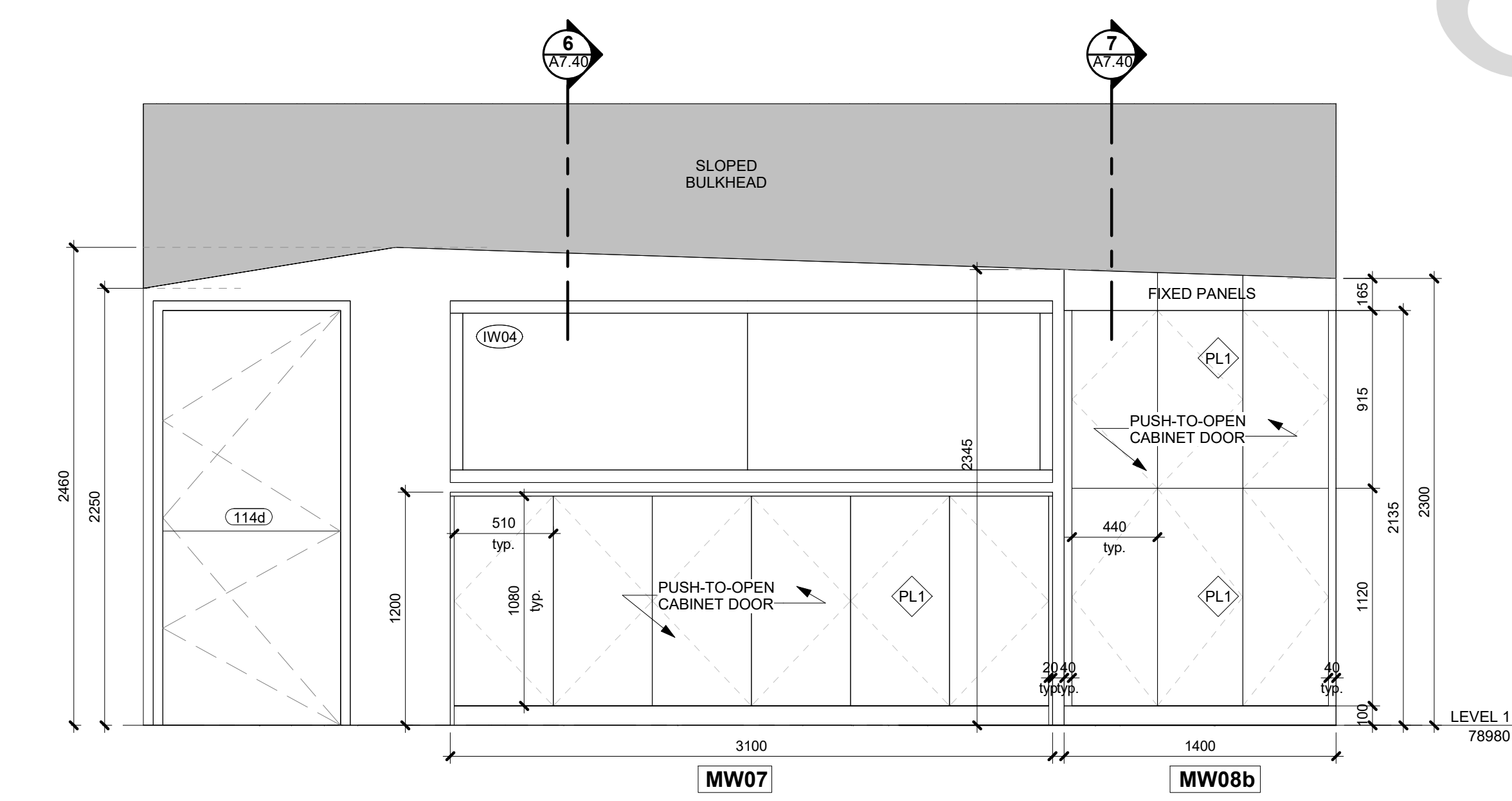
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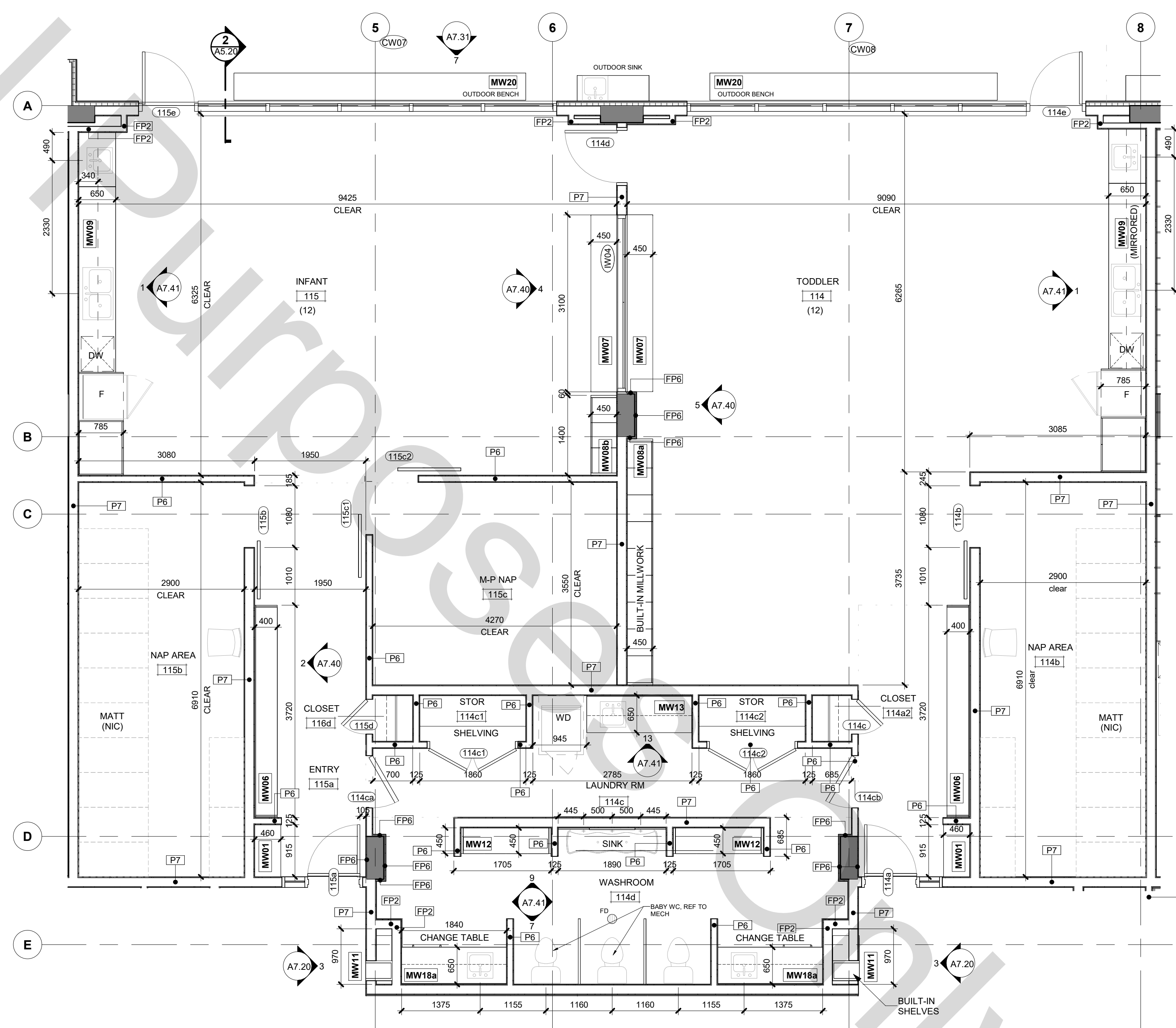
**7** A7.40 MW08 SECTION  
A7.40 1:25

**6** A7.40 MW07 SECTION  
A7.40 1:25

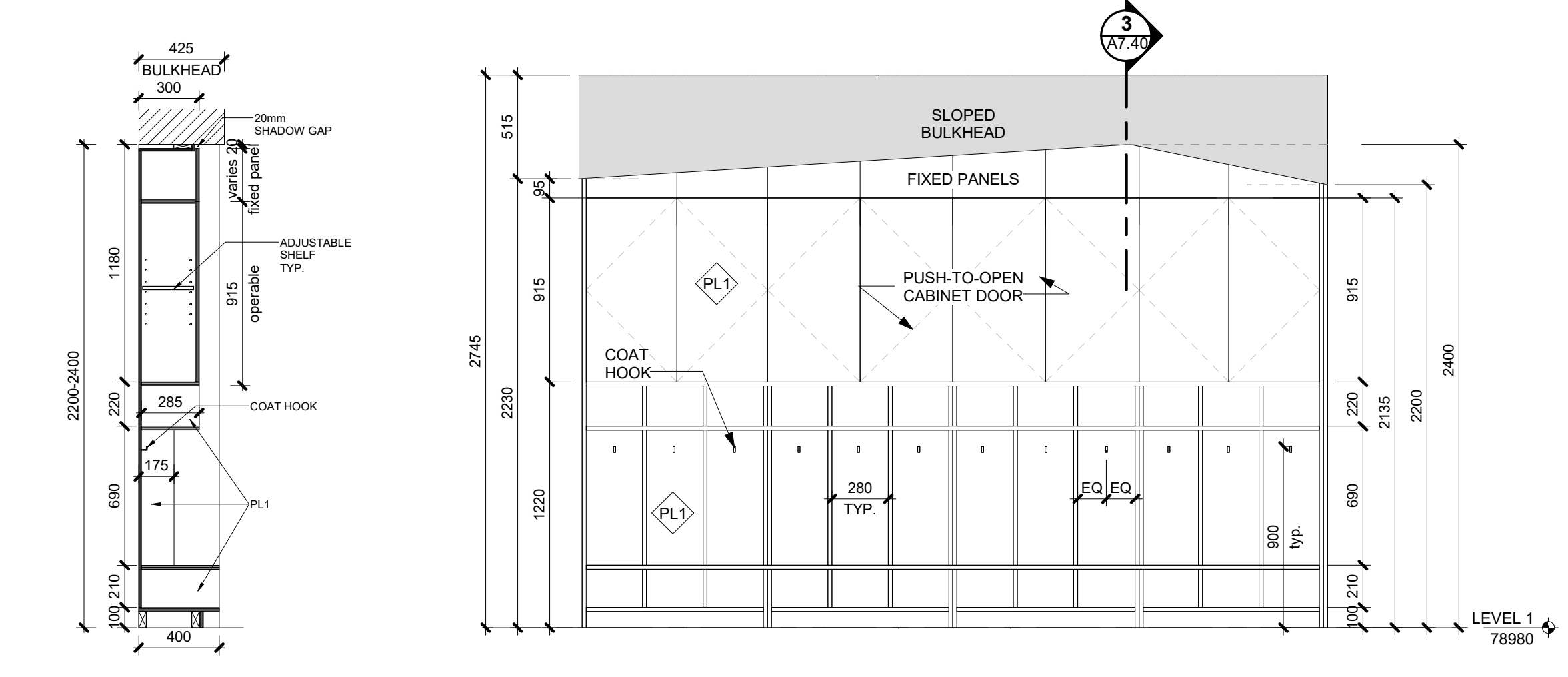
**5** A7.40 MW07/08a - STORAGE TODDLERS  
A7.40 1:25



**4** A7.40 MW07/08b - STORAGE INFANTS  
A7.40 1:25



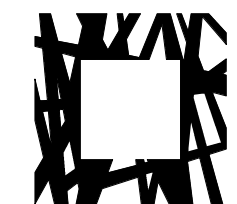
**1** A0.12 LEVEL 1 - TODDLER & INFANT ENLARGED PLAN  
A7.40 1:50



**2** A7.40 MW06 - INFANT / TODDLER CUBIES  
A7.40 1:25

**3** A7.40 MW06 SECTION  
A7.40 1:25

No	Date	Issued
No	Date	Revised
Principal in charge	JL	Author
Drawn By		Author
Reviewed By	SK	
Project number	24.12	
Sheet title	<b>TODDLER &amp; INFANT ENLARGED PLAN &amp; ELEVATIONS</b>	
Sheet number	<b>A7.40</b>	
Sheet in set	1	Revision
File name	2412_MHS_Carlow	
Plot date	251212	



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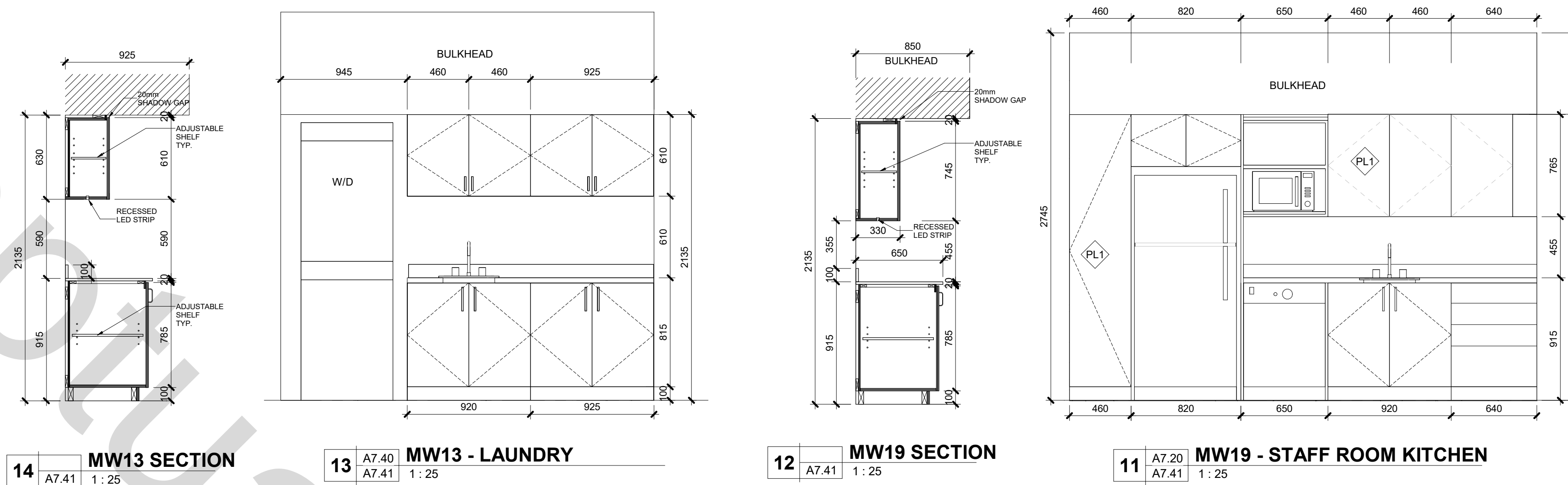
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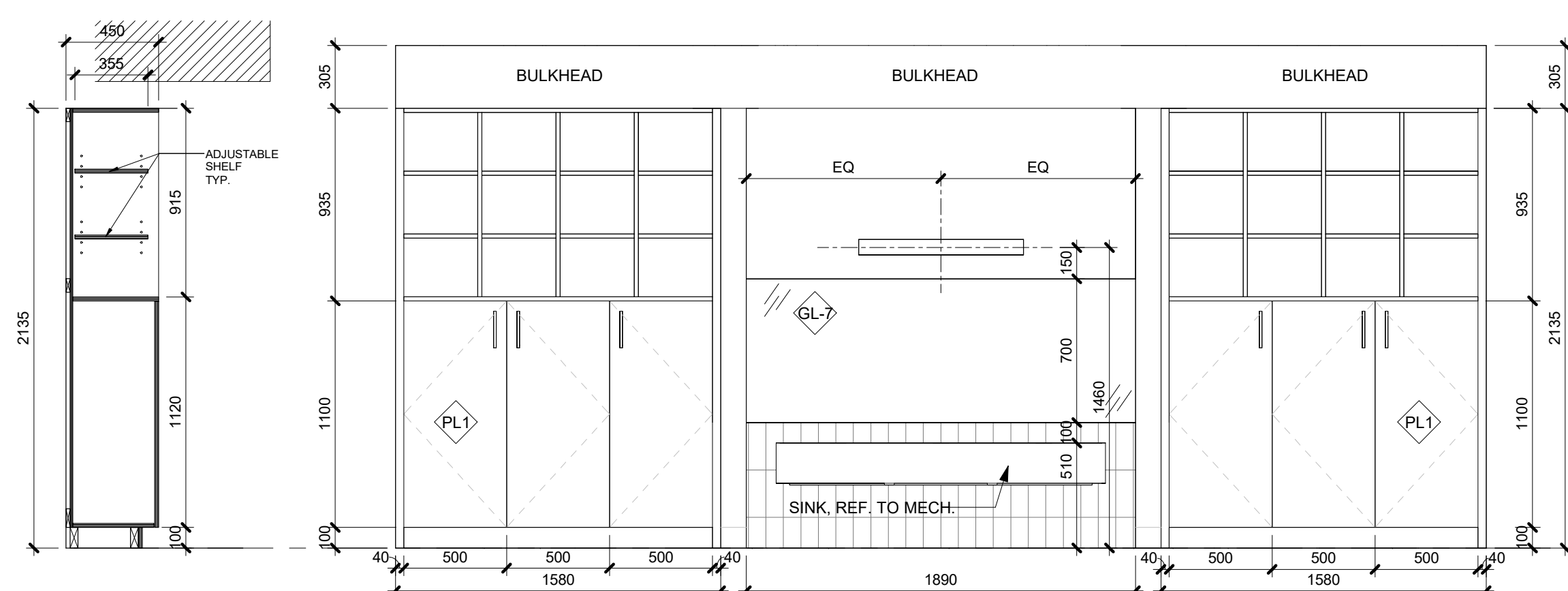


**14** MW13 SECTION  
A7.41 1:25

**13** MW13 - LAUNDRY  
A7.40 A7.41 1:25

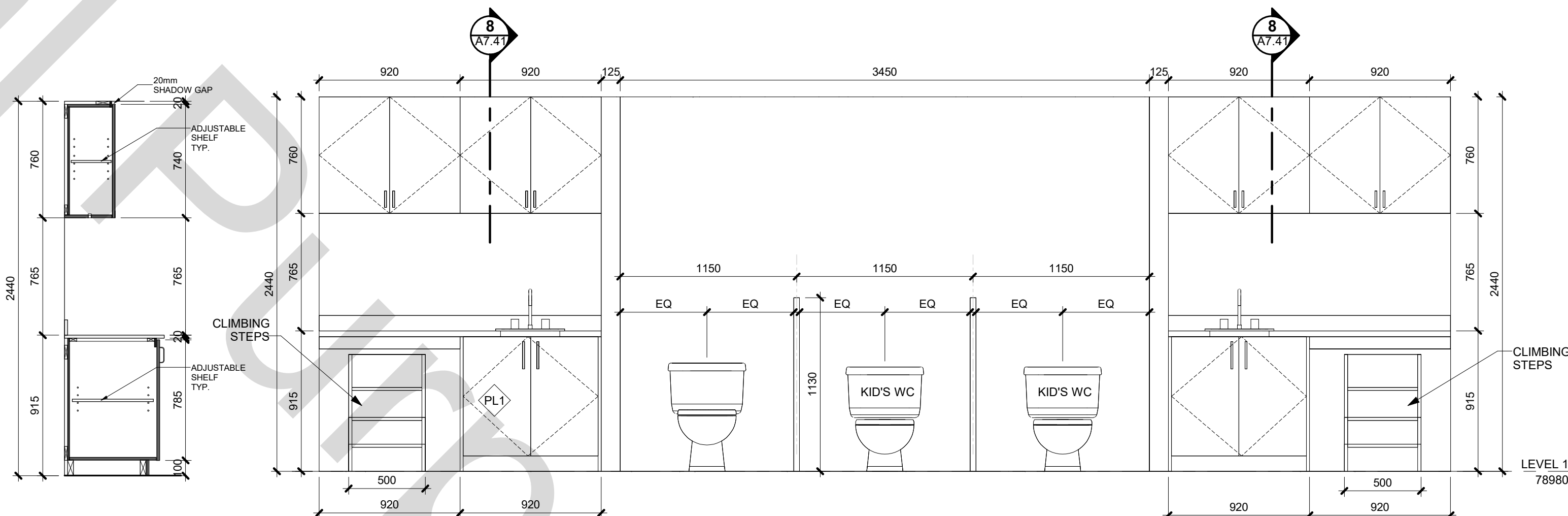
**12** MW19 SECTION  
A7.41 1:25

**11** MW19 - STAFF ROOM KITCHEN  
A7.20 A7.41 1:25



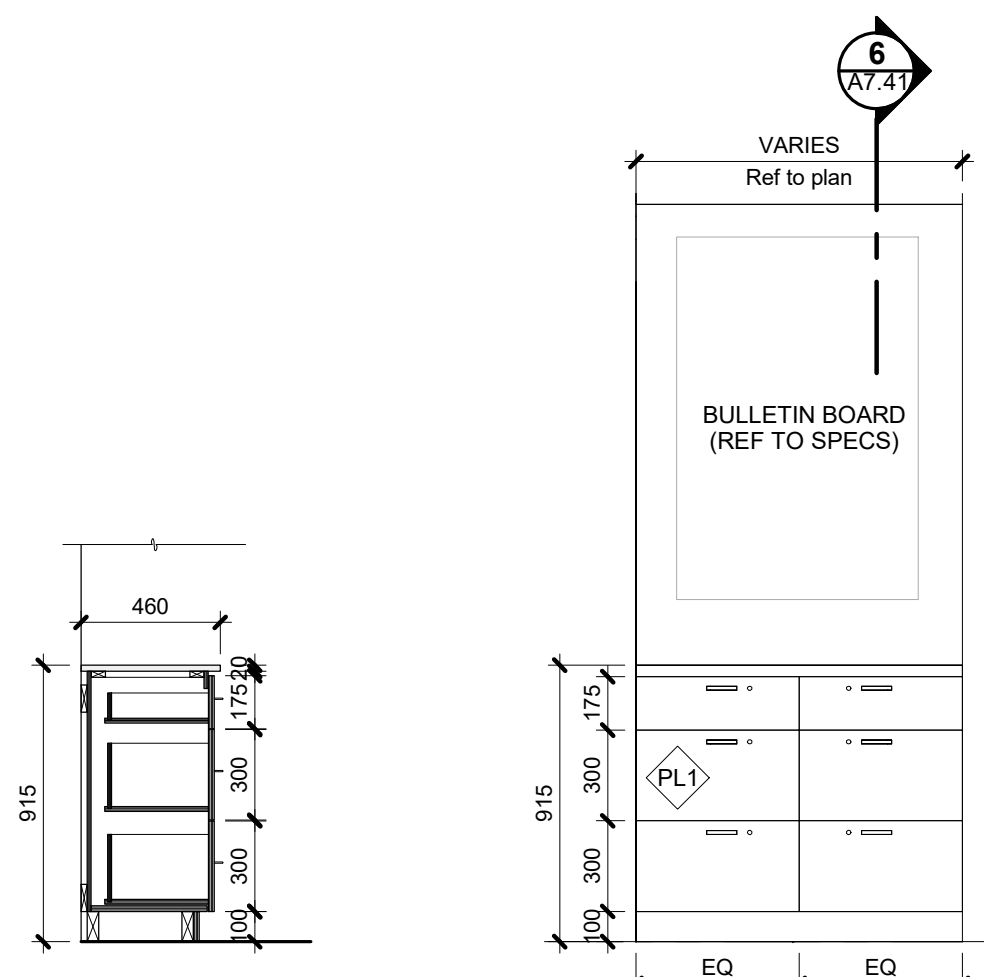
**10** MW12 SECTION  
A7.41 1:25

**9** MW12 - INFANT / TODDLER VANITY & STORAGE  
A7.40 A7.41 1:25



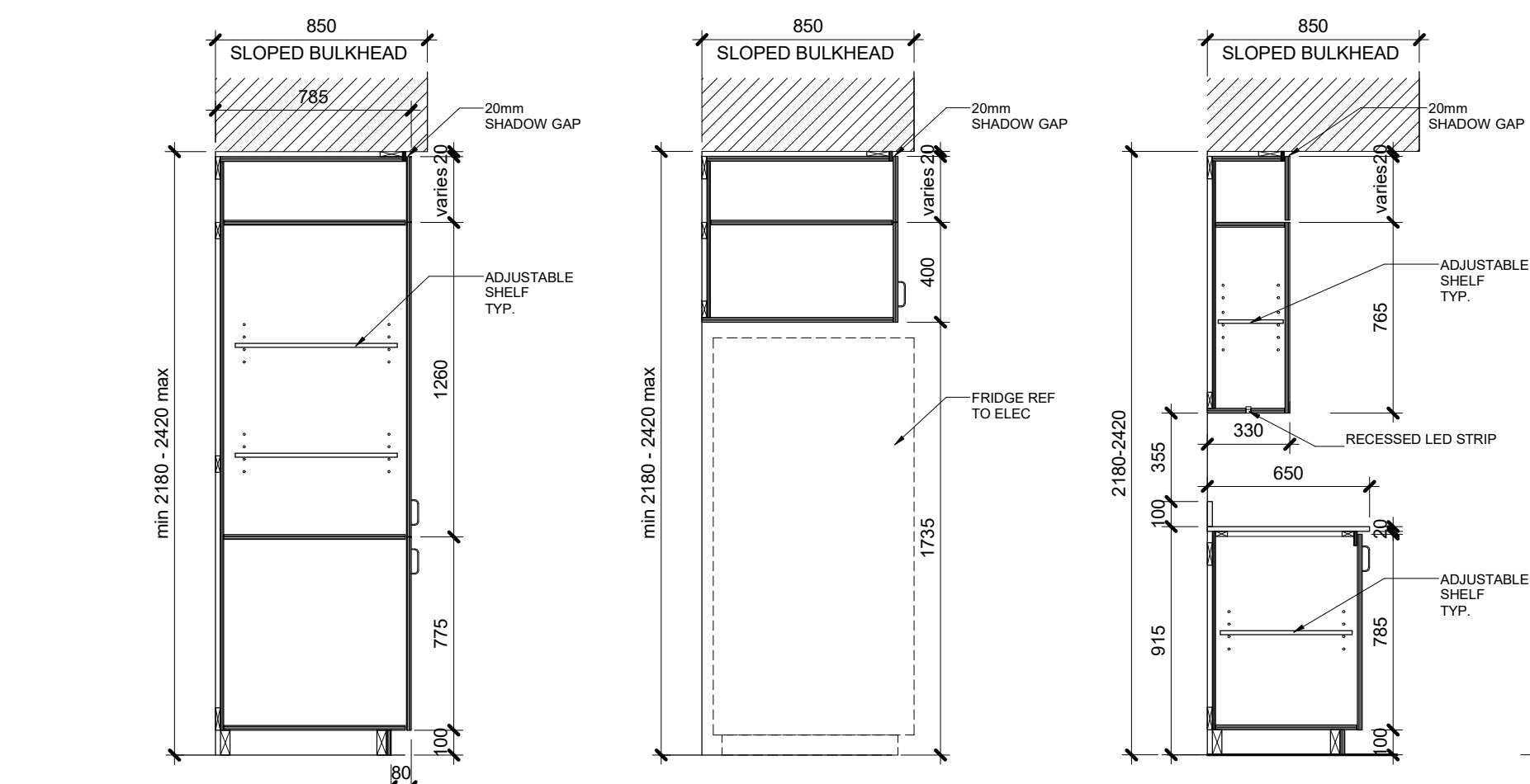
**8** MW18 SECTION  
A7.31 A7.41 1:25

**7** MW18a - CHANGE TABLES / WC  
A7.40 A7.41 1:25



**6** MW01 SECTION  
A7.30 A7.41 1:25

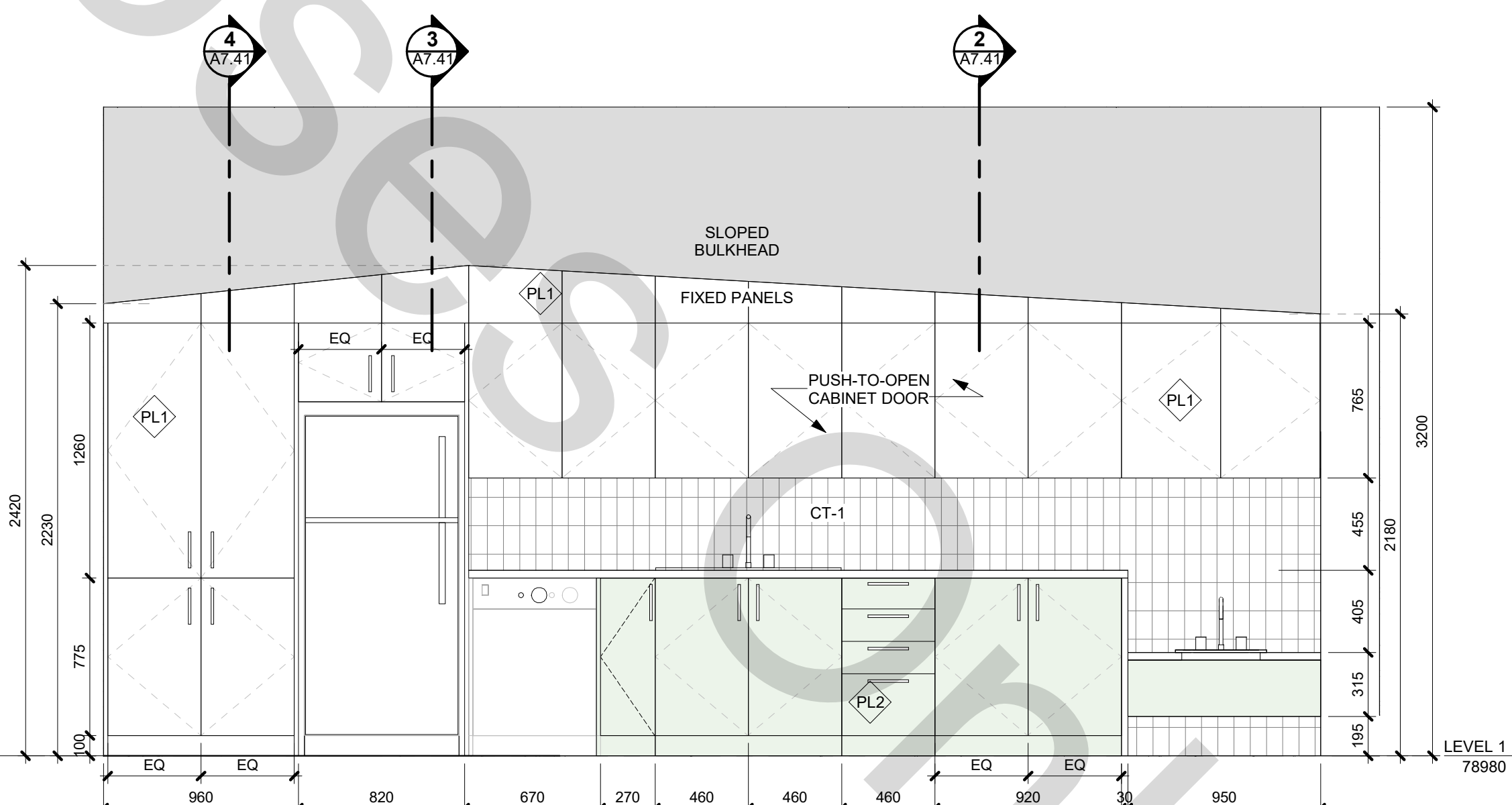
**5** MW01 - SIGN IN/OUT  
A7.50 A7.41 1:25



**4** MW09 SECTION C  
A7.41 A7.41 1:25

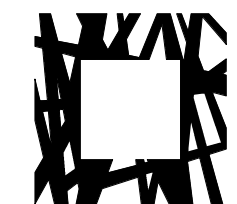
**3** MW09 SECTION B  
A7.41 A7.41 1:25

**2** MW09 SECTION A  
A7.41 A7.41 1:25



**1** MW09 - KITCHEN INFANTS & TODDLERS  
A7.40 A7.41 1:25

No.	Date	Issued
No.	Date	Revised
Principal in Charge	Checker	Drawn By
		Author
Project number	Reviewed By	
24.12	SK	
Sheet title	24.12	
<b>INTERIOR ELEVATIONS AND ENLARGED PLANS</b>		
Sheet number	A7.41	
Sheet in set	1	Revision
File name	2412_MHS_Carlow	
Plot date	251212	



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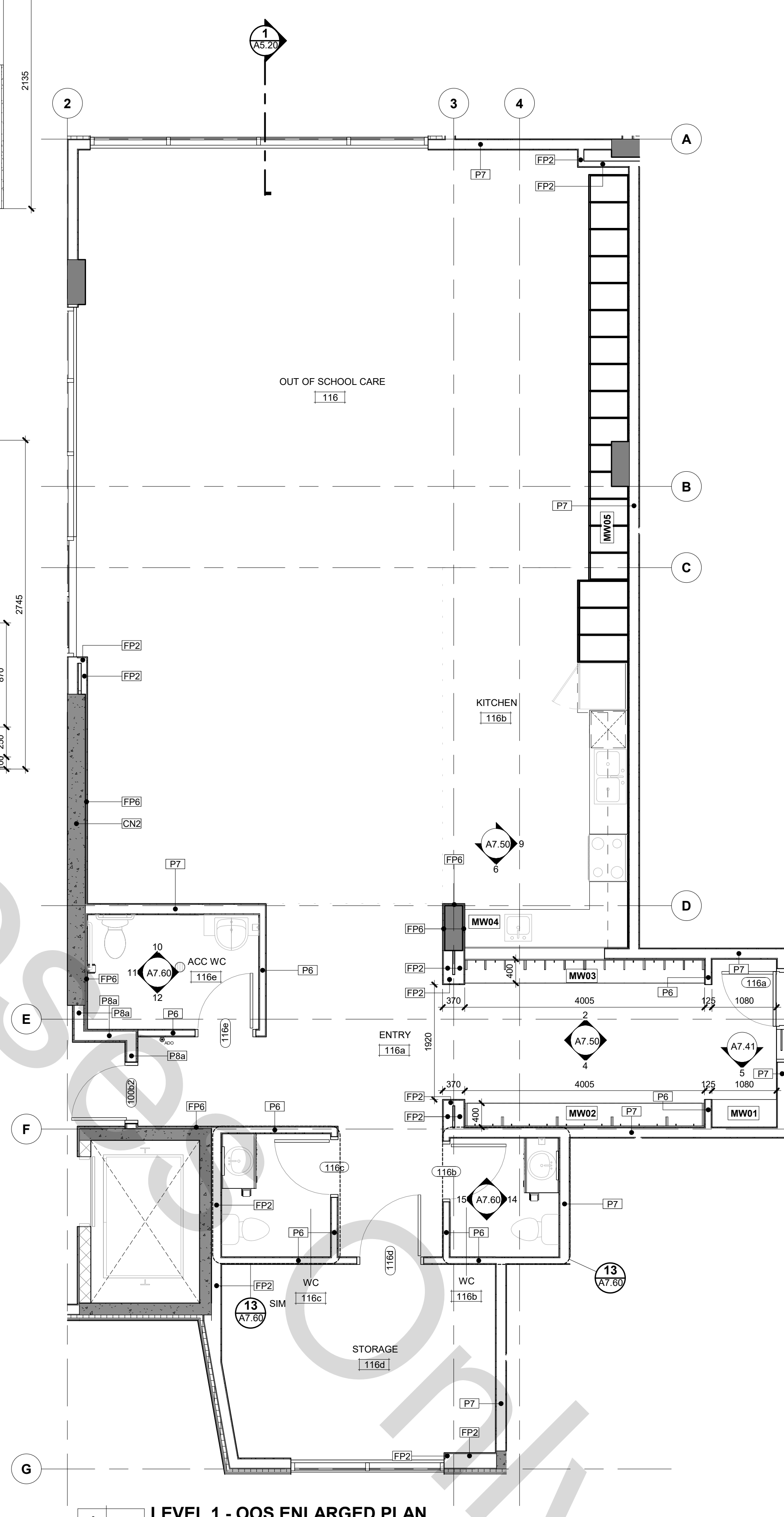
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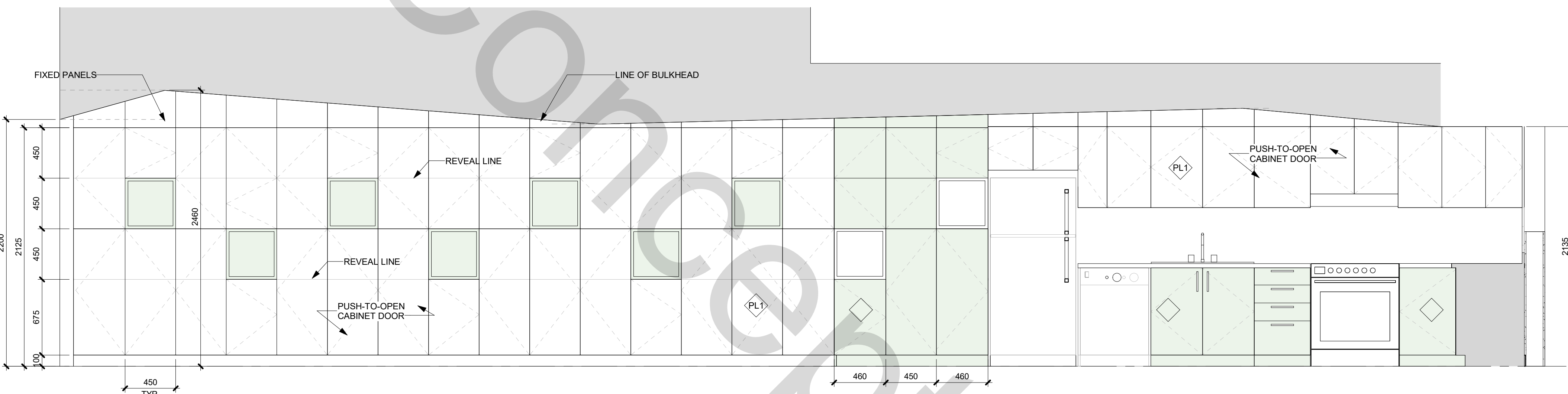
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**INTERIOR ELEVATIONS AND ENLARGED PLANS**

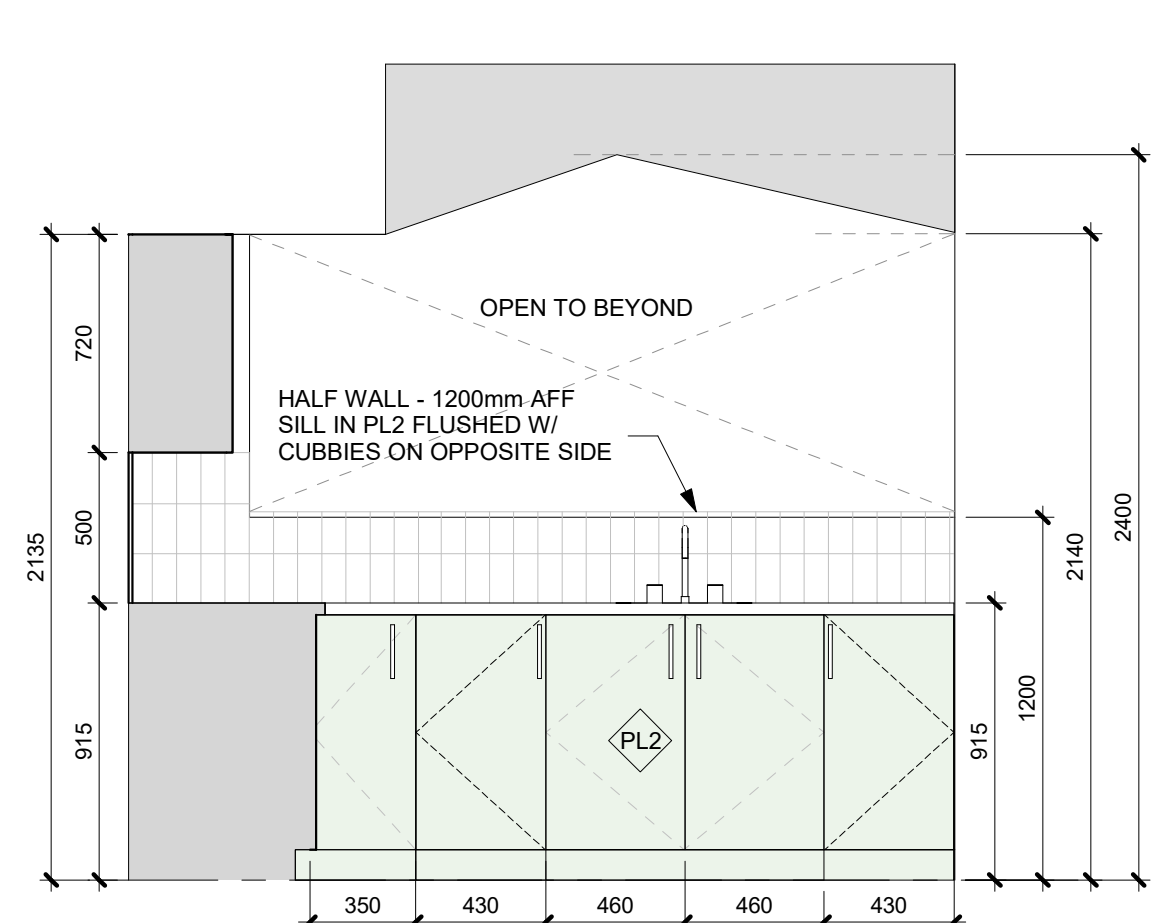
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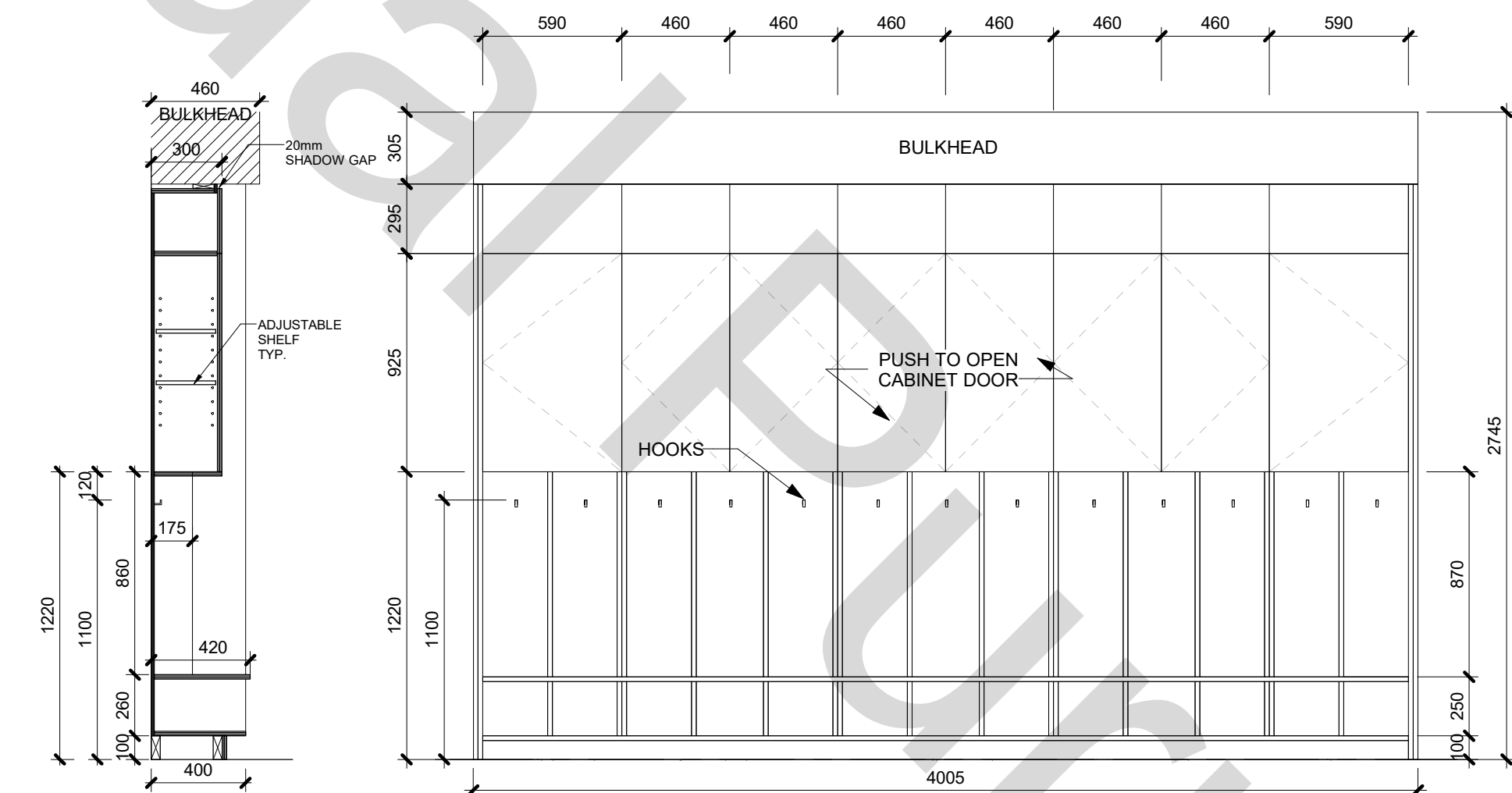
**1 LEVEL 1 - OOS ENLARGED PLAN**  
A7.50 1:50



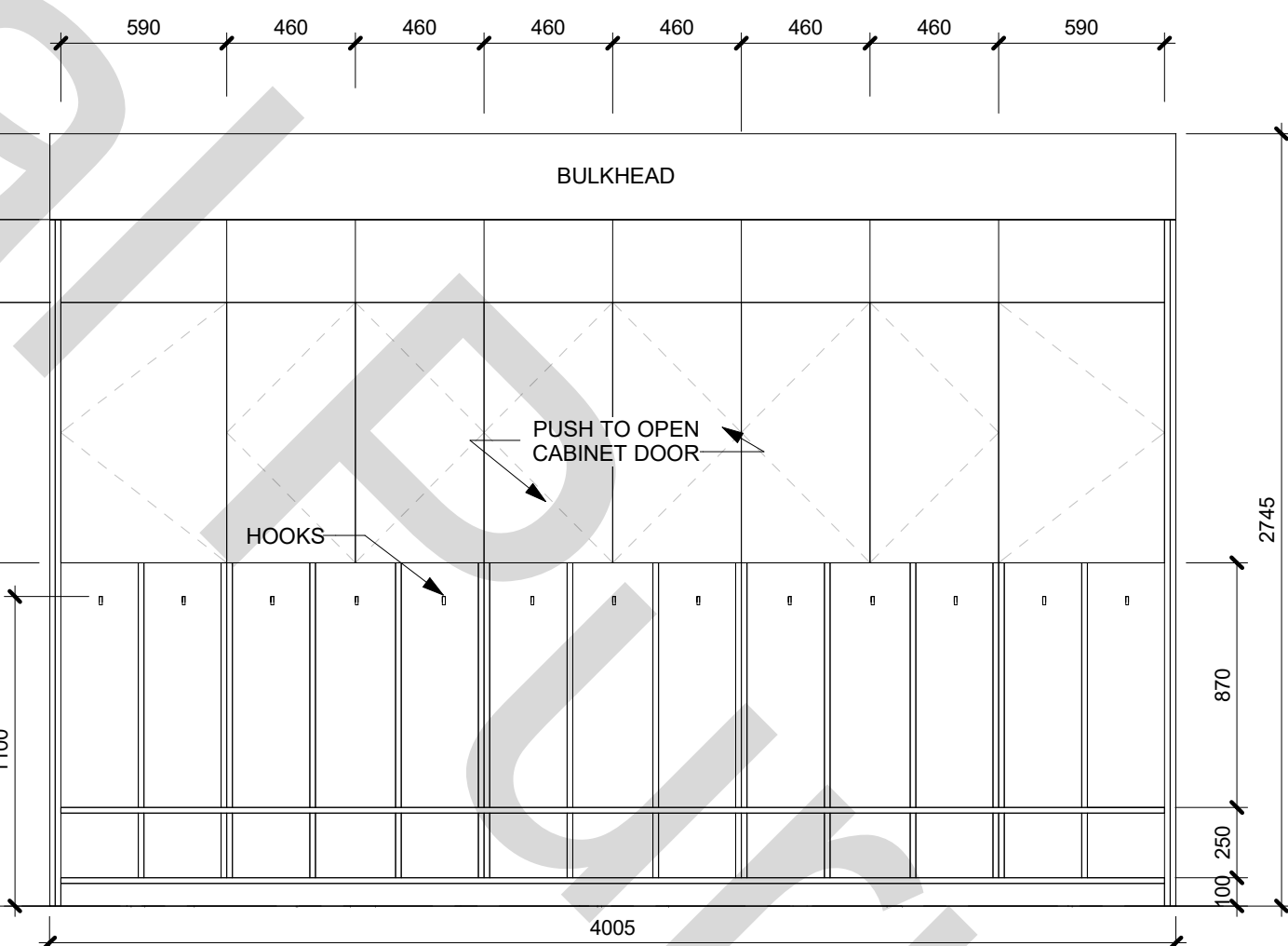
**MW04 & MW05 - OUT OF SCHOOL KITCHEN & STORAGE**  
A7.50 1:25



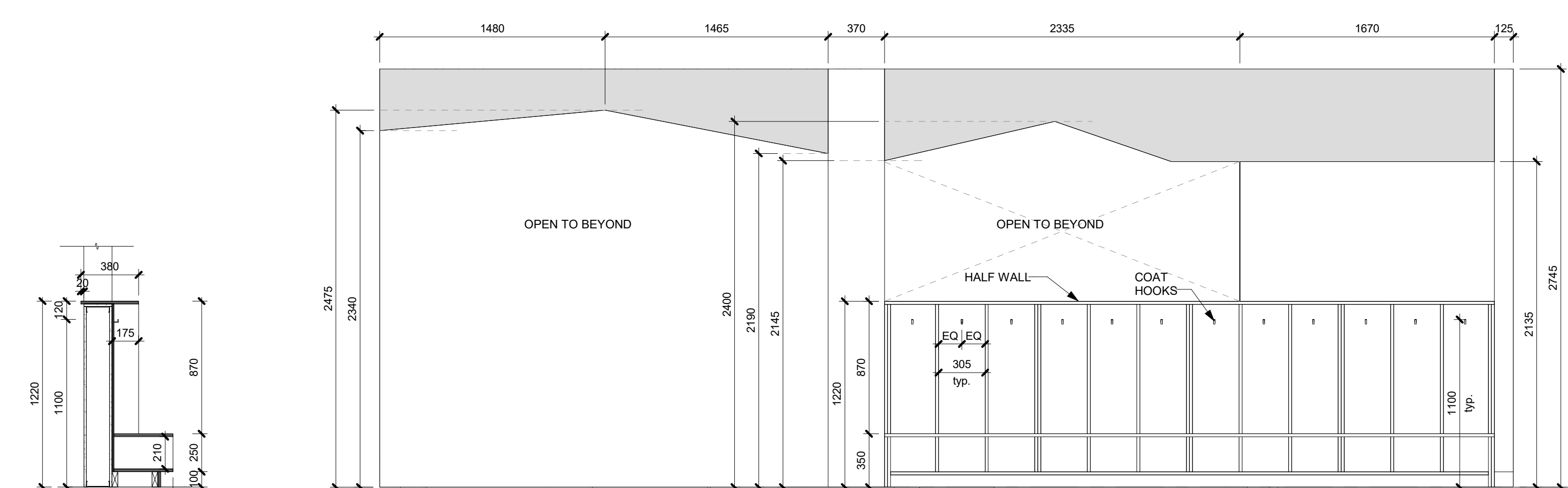
**6 MW04 - OUT OF SCHOOL KITCHEN**  
A7.40 1:25  
A7.50 1:25



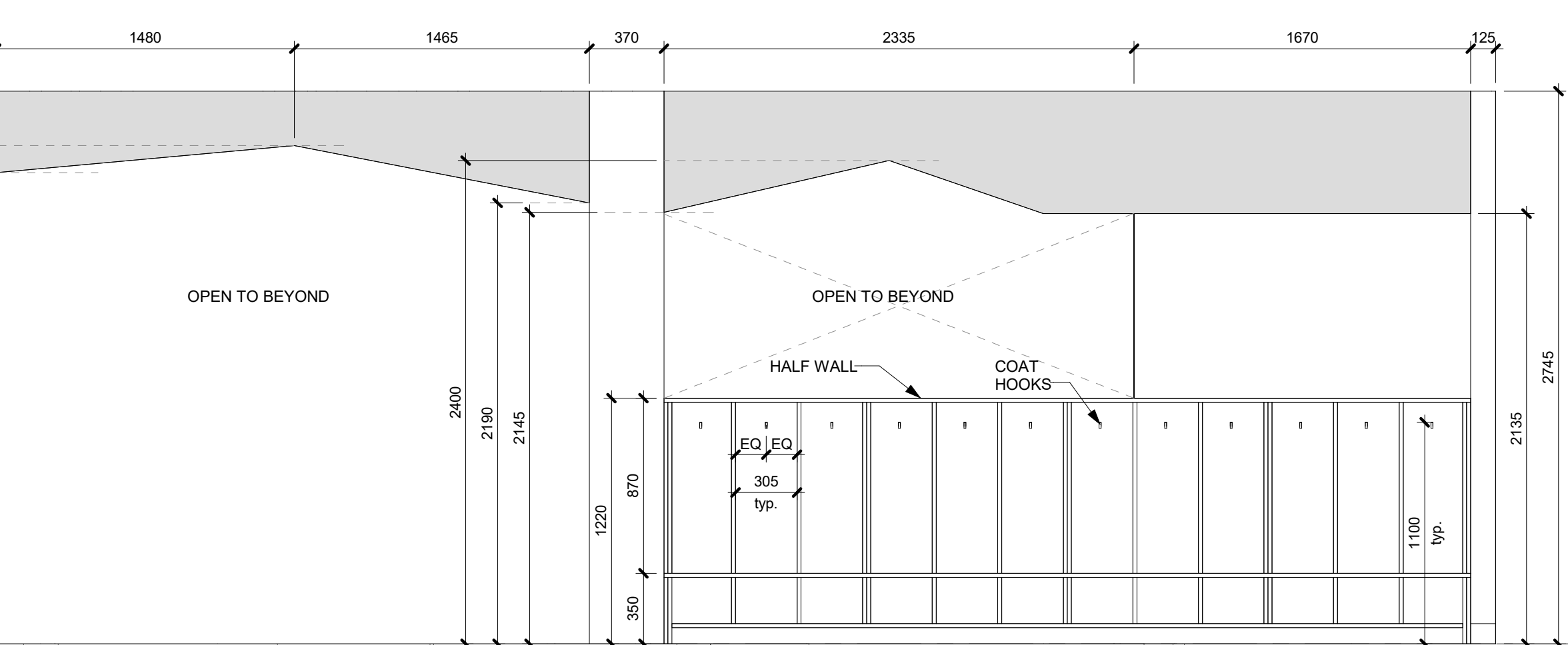
**5 MW02 SECTION**  
A7.50 1:25



**4 MW02 - OUT OF SCHOOL CARE CUBIES**  
A7.50 1:25  
A7.50 1:25

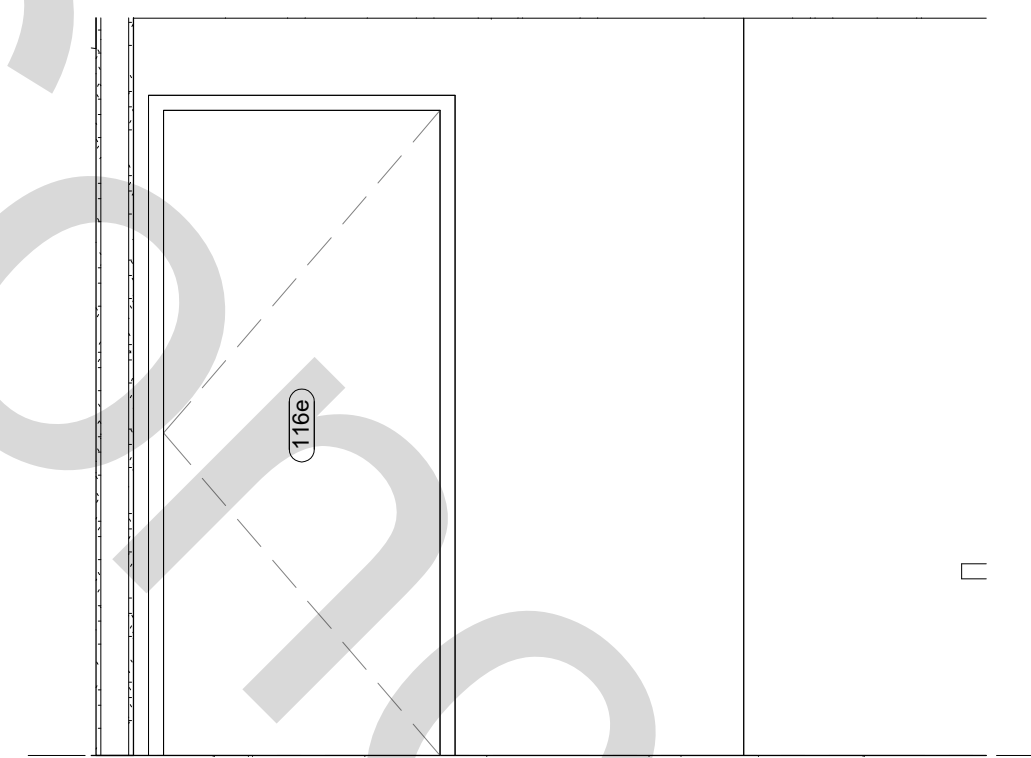


**3 MW03 SECTION**  
A7.50 1:25

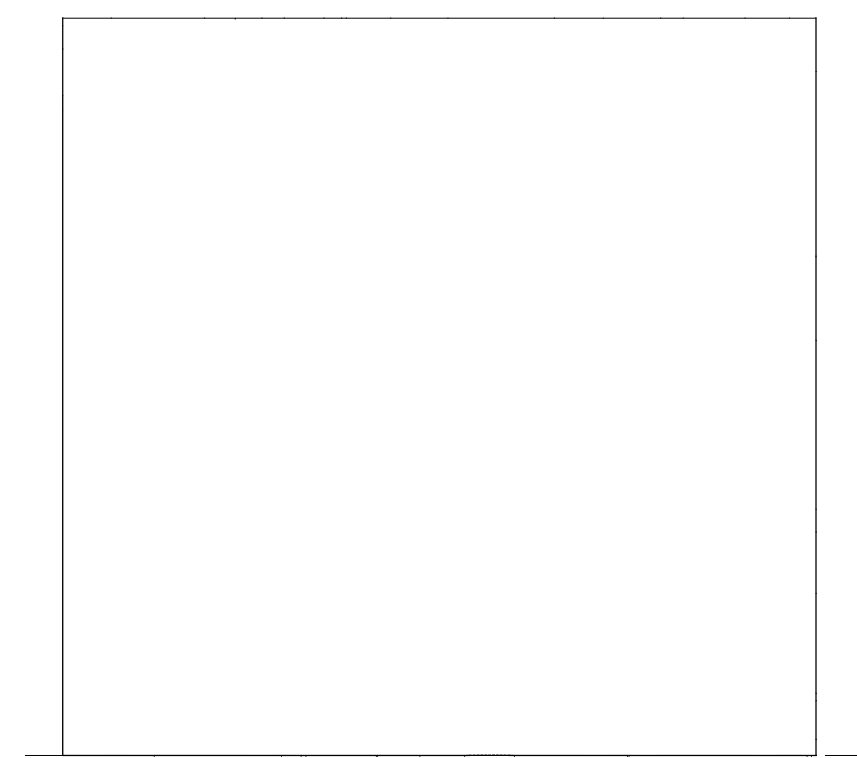


**2 MW03 - OUT OF SCHOOL CARE CUBIES**  
A7.50 1:25  
A7.50 1:25

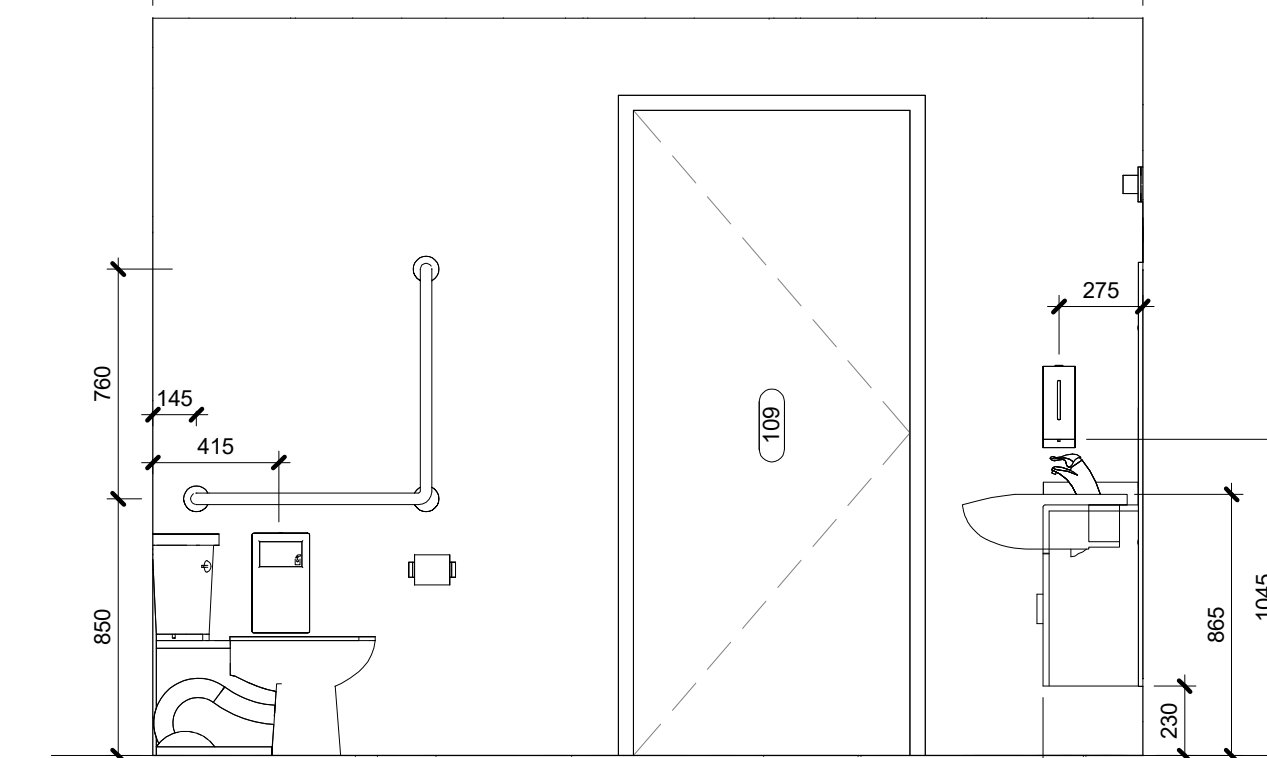
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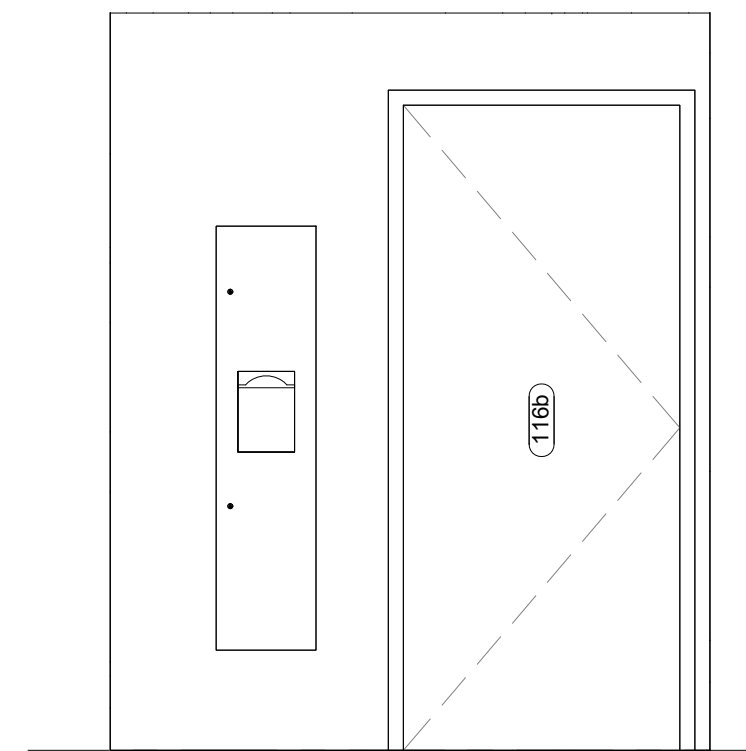
**12** A7.50 **OUT OF SCHOOL WC - ELEVATION 03**  
A7.60 1:25



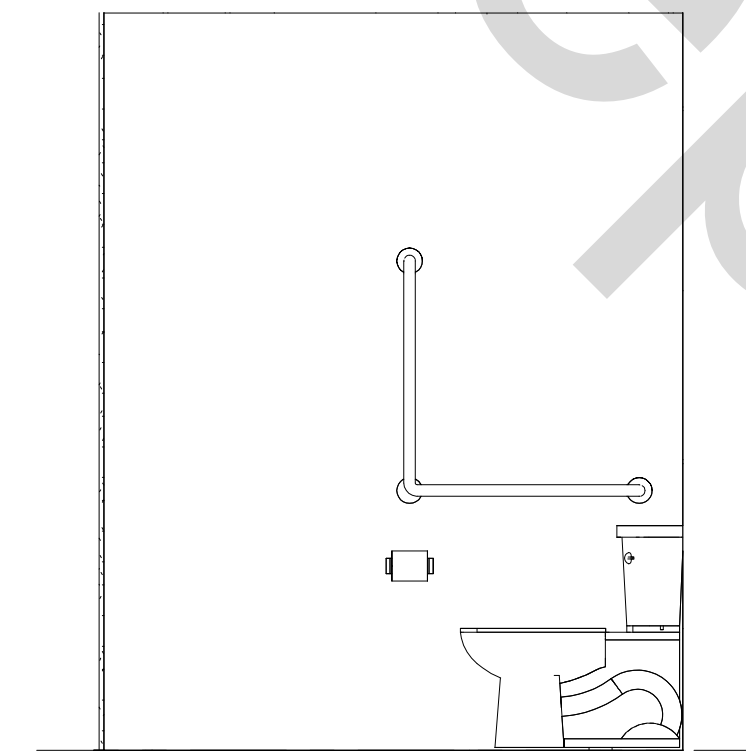
**8** A7.60 **ACC WC - ELEVATION 03**  
A7.60 1:25



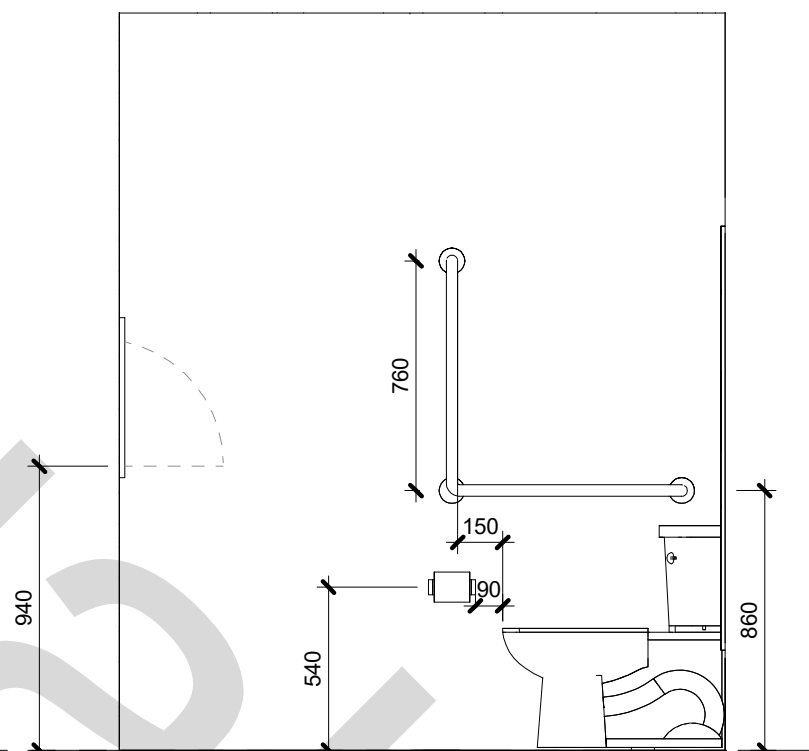
**4** A7.20 **STAFF ACC WC - ELEVATION 03**  
A7.60 1:25



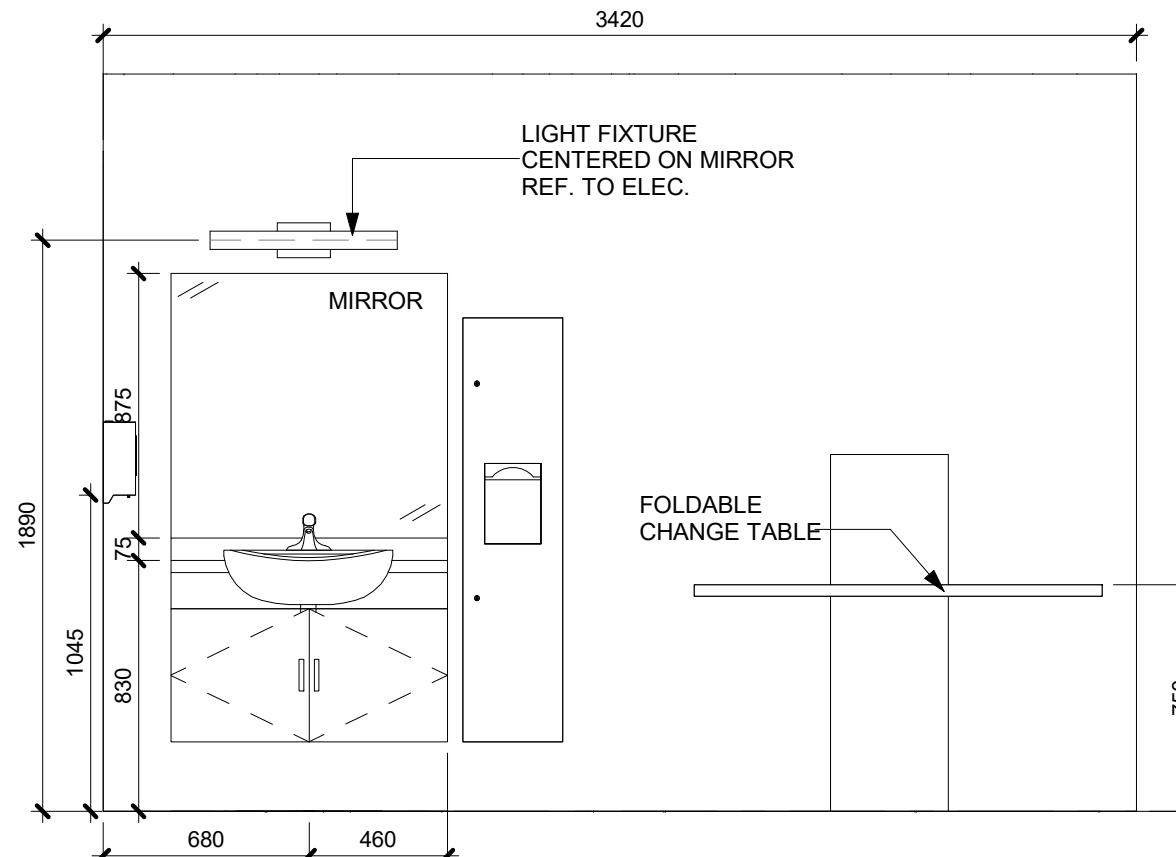
**15** A7.50 **WC - ELEVATION 02**  
A7.60 1:25



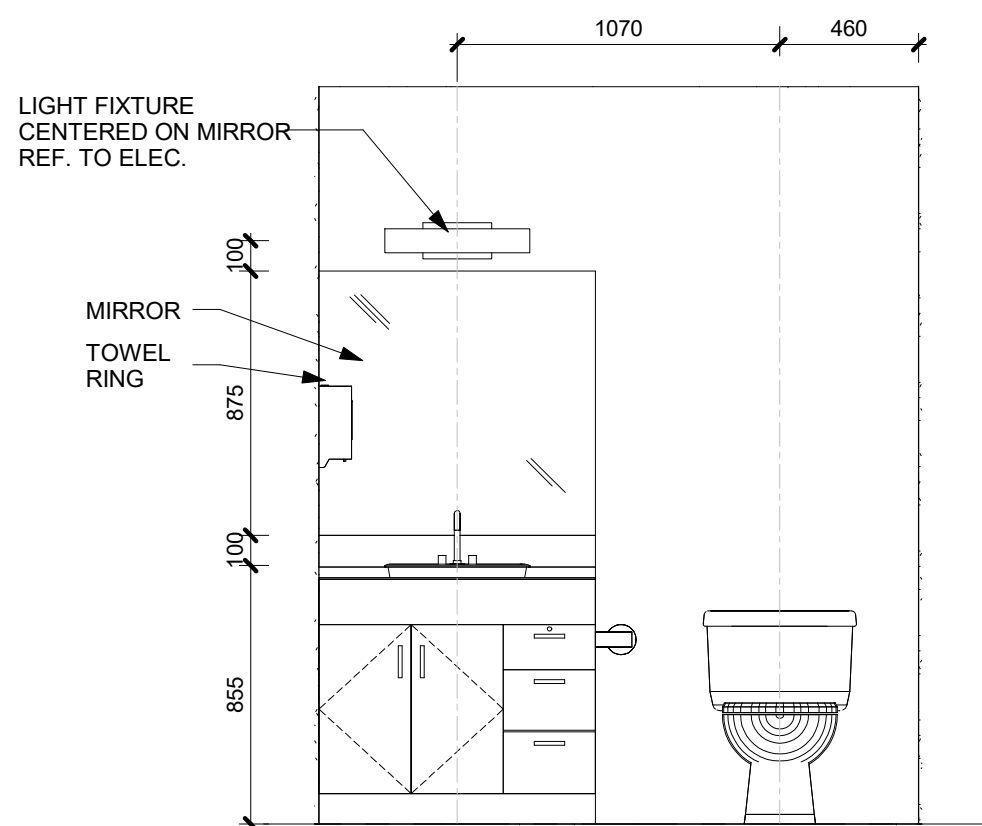
**11** A7.50 **OUT OF SCHOOL WC - ELEVATION 02**  
A7.60 1:25



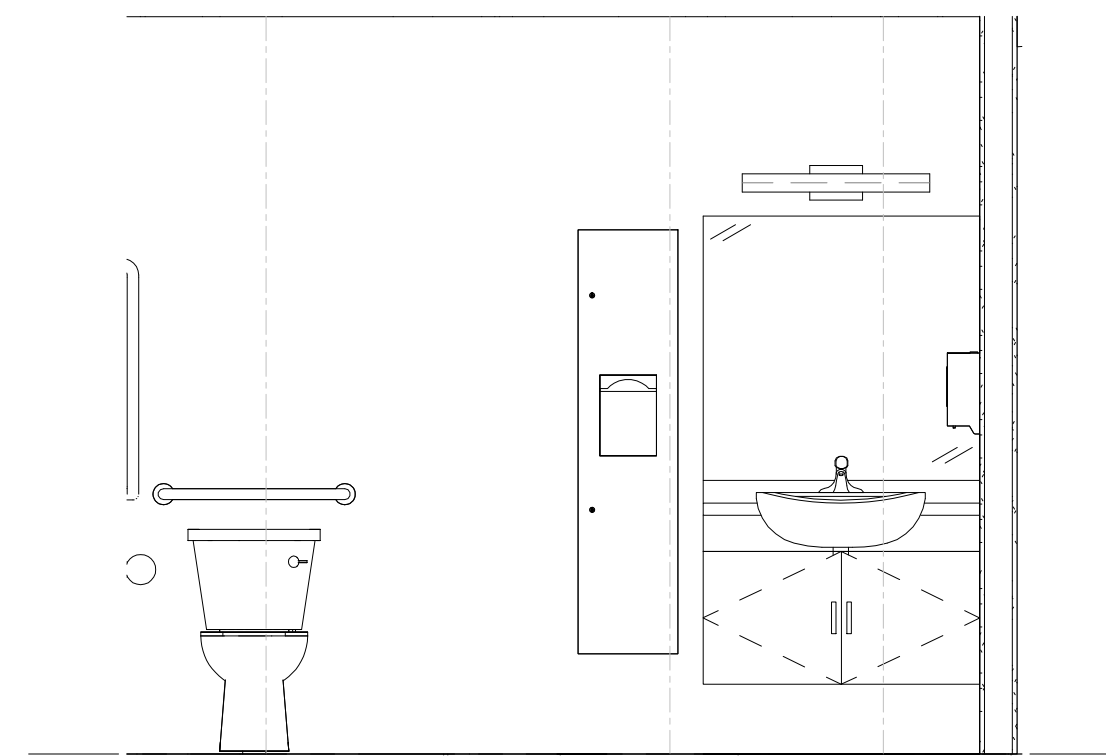
**7** A7.60 **ACC WC - ELEVATION 02**  
A7.60 1:25



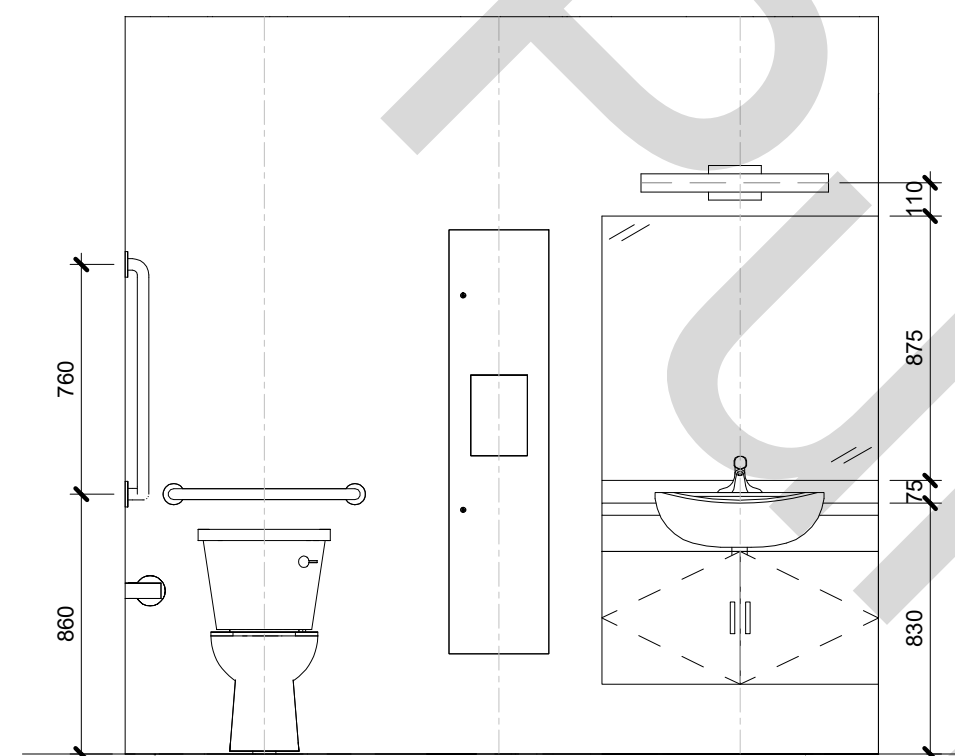
**3** A7.20 **STAFF ACC WC - ELEVATION 02**  
A7.60 1:25



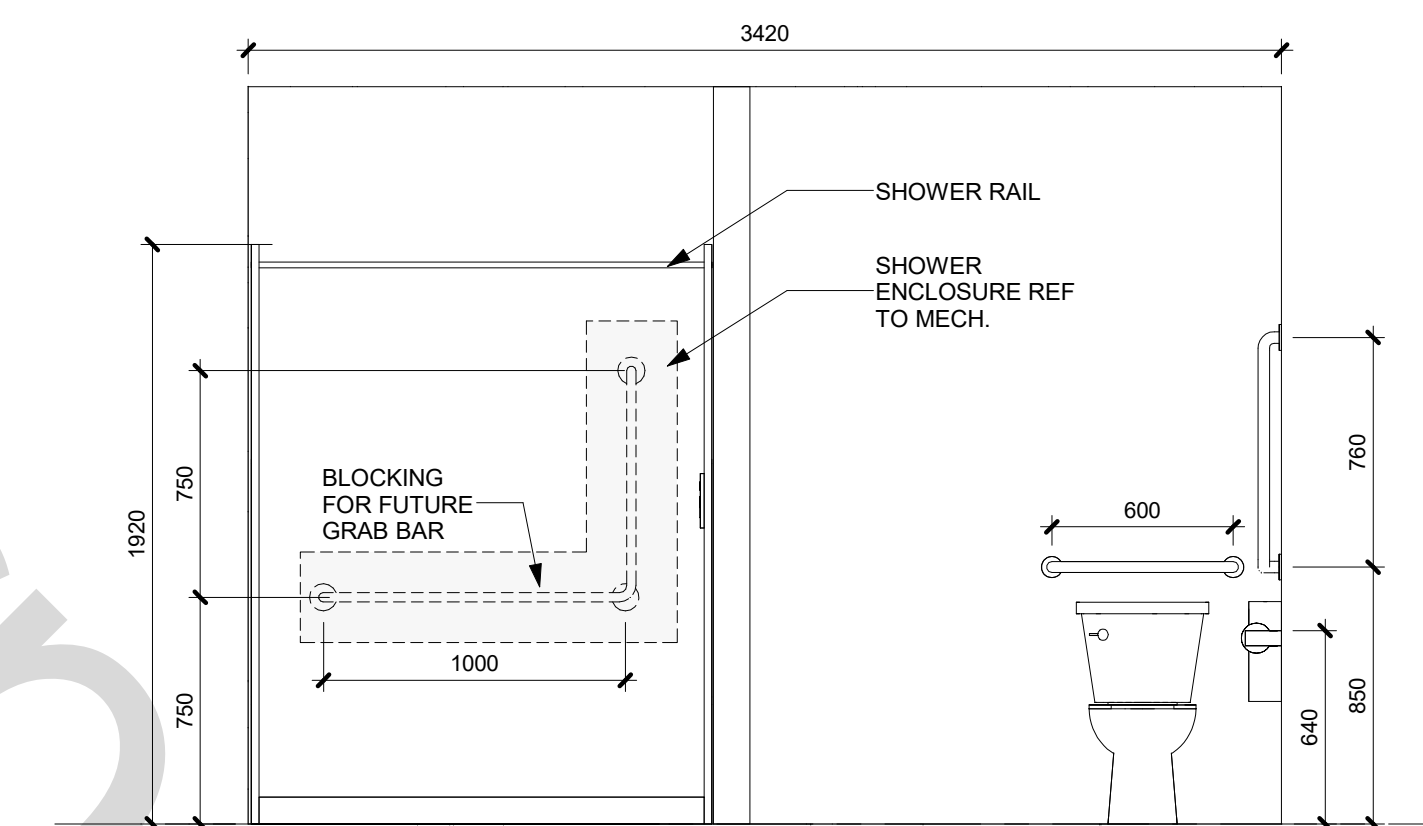
**14** A7.50 **WC - ELEVATION 01**  
A7.60 1:25



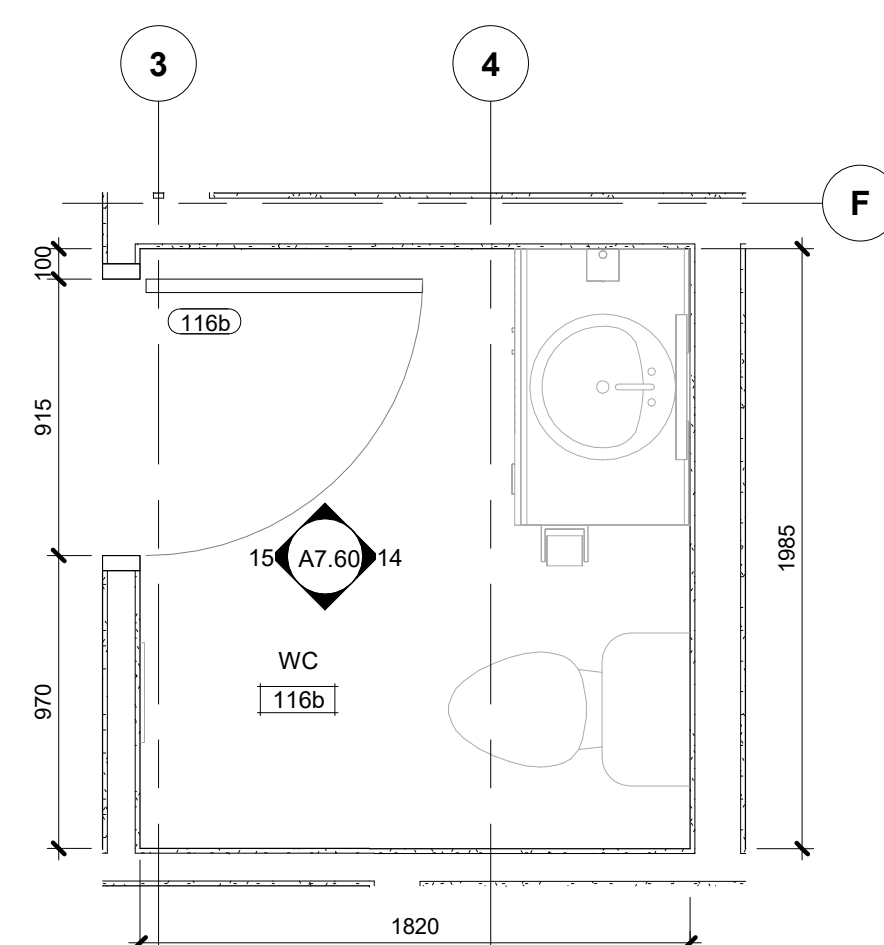
**10** A7.50 **OUT OF SCHOOL WC - ELEVATION 01**  
A7.60 1:25



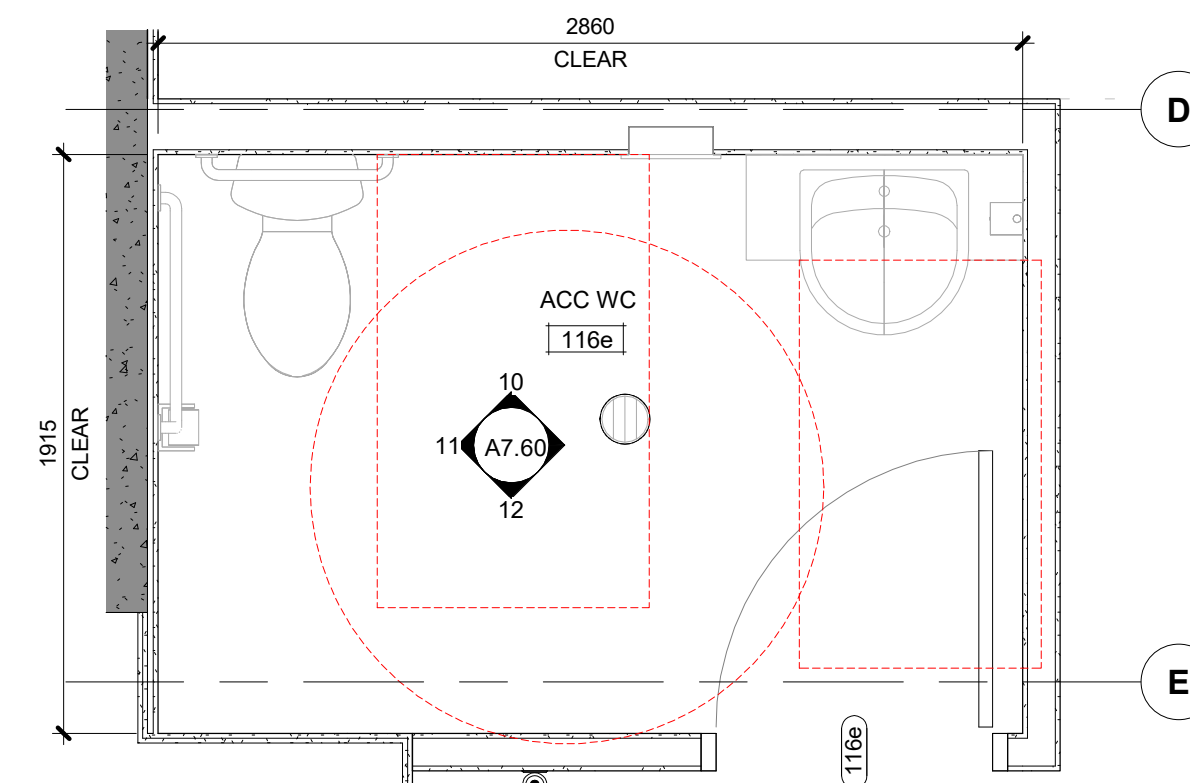
**6** A7.60 **ACC WC - ELEVATION 01**  
A7.60 1:25



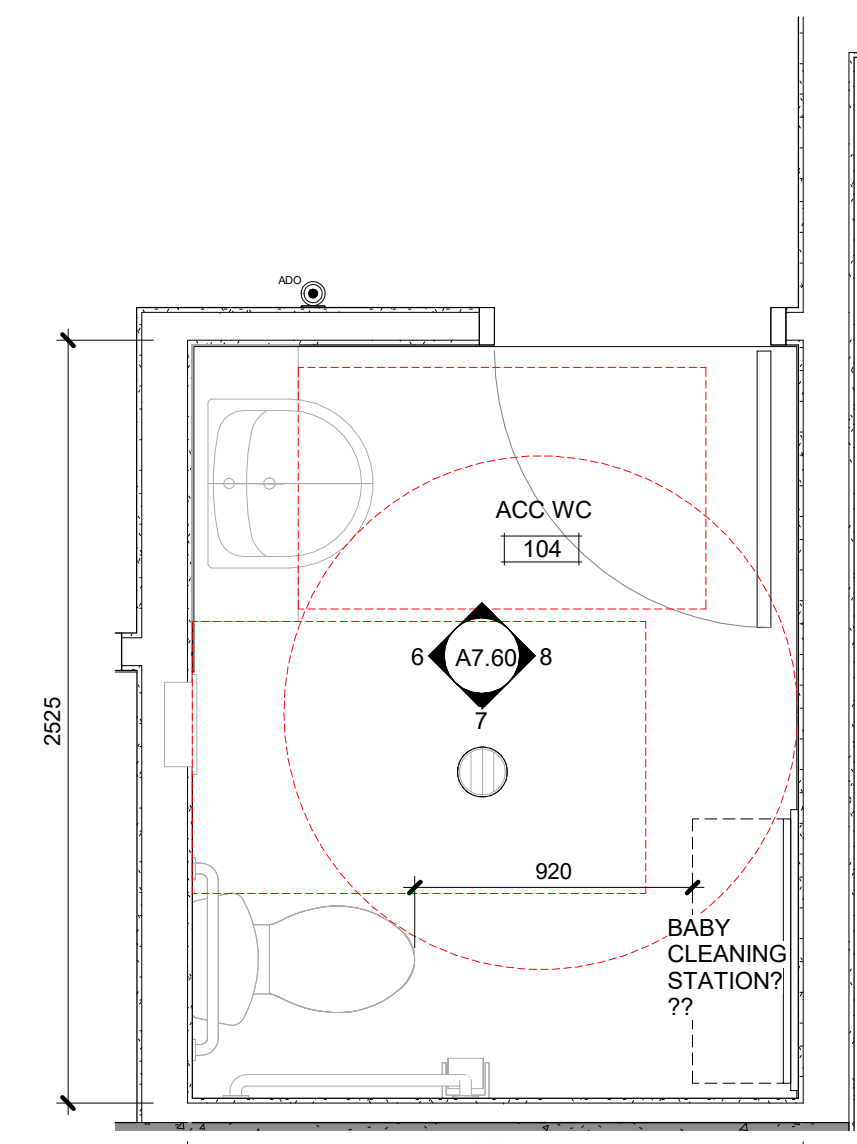
**2** A7.20 **STAFF ACC WC - ELEVATION 01**  
A7.60 1:25



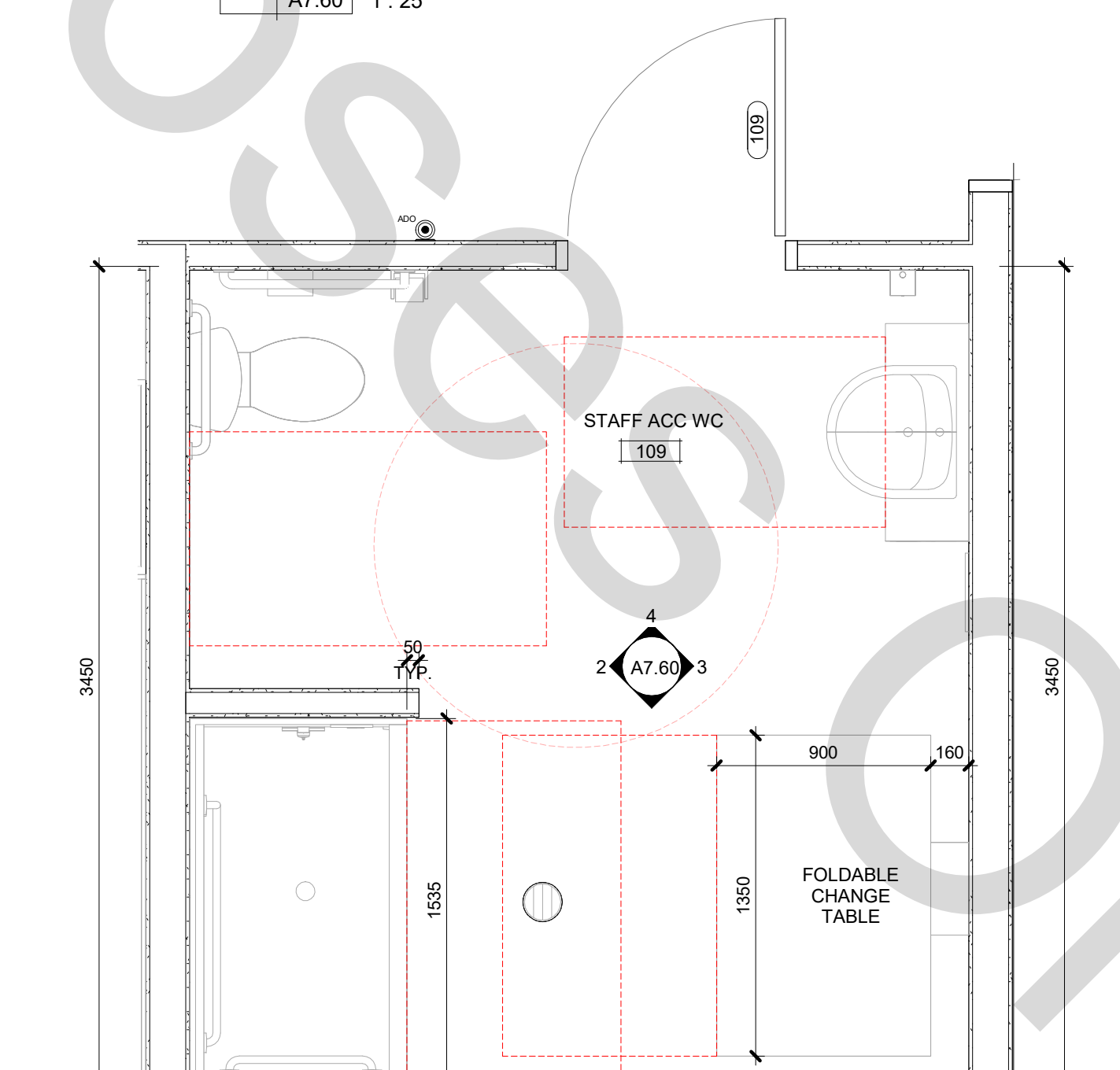
**13** A7.50 **LEVEL 1 - WC ENLARGED PLAN**  
A7.60 1:25



**9** A0.12 **LEVEL 1 - OUT OF SCHOOL WC**  
A7.60 1:25



**5** A0.12 **LEVEL 1 - ACC WC**  
A7.60 1:25



**1** A7.60 **LEVEL 1 - STAFF ACC WC ENLARGED PLAN**  
A7.60 1:25

**WASHROOM ACCESSORIES**

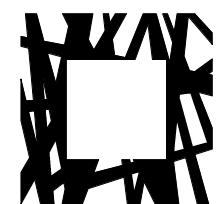
**ACCESSIBLE WASHROOM ACCESSORIES**

- AC-1 TOWEL BAR 610mm (24in.) LONG
- AC-2 TOILET PAPER HOLDER, STANDARD TYPE
- AC-3 TOWEL RING
- AC-4 ROBE HOOK, DOUBLE TYPE
- AC-5 GRAB BAR
- AC-6 L-SHAPED GRAB BAR
- AC-7 MIRROR
- AC-8 SHOWER RAIL
- AC-9 DOUBLE ROLL TOILET PAPER DISPENSER
- AC-10 COAT HOOK
- AC-11 PAPER TOWEL DISPENSER
- AC-12 SOAP DISPENSER
- AC-13 WASTE RECEPTACLE
- AC-14 SANITARY NAPKIN DISPOSAL

**Note**  
Refer to Specification for detailed descriptions.

**GENERAL BATHROOM NOTES**

1. GWB TO BE: 15.9mm TYPE 'X' MOISTURE RESISTANT GYPSUM WALLBOARD (GB-4) AT ALL BATHROOMS.
2. CONFIRM ROUGH OPENINGS OF SHOWERS WITH MECHANICAL PLUMBING FIXTURE SPECIFICATIONS.
3. ACCESSIBLE SHOWER STALLS TO INCLUDE SHOWER ROD.
4. SHOWERS TO INCLUDE SHOWER ROD.
5. ACCESSIBLE BATHROOMS TO INCLUDE A FLOOR DRAIN AS SHOWN.
6. ALL BATHROOMS TO INCLUDE BACKING FOR FUTURE GRAB BARS AS FOLLOWS:  
AROUND WATER CLOSETS:  
A. AT BACK WALL - 700-900mm AFF  
B. AT SIDEWALL - 700-1500mm AFF  
AROUND BATHTUBS:  
CONTINUOUS AROUND 3 WALLS - FROM TUB RIM TO US OF CEILING
7. MILLWORK FINISHES AS FOLLOWS:  
CABINETS PL...  
TOE KICK PL...  
COUNTERTOP PL...



**LOW HAMMOND ROWE ARCHITECTS**

300 - 1590 CEDAR HILL CROSS ROAD  
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**2805 CARLOW HOUSING**

2805 CARLOW RD, VICTORIA, BC

No Date Issued

No Date Revised

Principal in Charge: **Checker** Drawn By: **Author**  
Reviewed By: **SK**

Project number: **24.12**

Sheet title:

**INTERIOR ELEVATIONS AND ENLARGED PLANS**

Sheet number:

**A7.60**

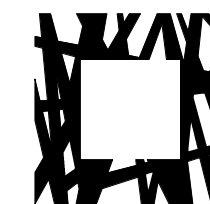
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Plot date: **25/12/21**

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PLOT DATE: 2026-02-03 12:30:05 PM

		DOOR SCHEDULE																					
		ROOM DATA				DOOR PANEL(S)								DOOR FRAME(S)									
Level	DOOR No.	FROM: NAME	FROM: No.	TO: NAME	TO: No.	WIDTH	HEIGHT	THICKNESS	TYPE	CONSTRUCTION	FINISH	GLAZING	LABEL	TYPE	SCREEN	CONSTRUCTION	HEAD DETAIL	JAMB DETAIL	FINISH	LABEL	HARDWARE SET	REMARKS	
PARKADE	001	PARKADE	001	LOWER DRIVEWAY		5500	2135	50	OH	ALUM	PRE	-	-	-	-	ALUM	-	-	PRE	-	-	OVERHEAD GARAGE DOOR	
PARKADE	002a	PARKADE	001	GARAGE		915	2135	45	N	HM	PT	-	-	-	-	PSF	1	1	PT	-	-	FOB	
PARKADE	002b	PARKADE	002	LOWER DRIVEWAY		3500	2135	50	OH	ALUM	PRE	-	-	-	-	ALUM	-	-	PRE	-	-	OVERHEAD GARAGE DOOR	
PARKADE	003	PARKADE	003	LOBBY		915	2135	45	F	HM	PT	GL-5	-	-	-	ALUM	5	5	ANOD	-	-	AUTO-DOOR OPENER, SMOKE SEAL, FOB ACCESS	
PARKADE	004	PARKADE	001	BIKE ROOM		915	2135	45	N	HM	PT	GL-5	45 MIN	1	-	PSF	2	2	PT	-	-	CLOSER, AUTO DOOR OPENER, FOB ACCESS	
PARKADE	005	STORAGE	004	BIKE ROOM		915	2135	45	F	HM	PT	-	45 MIN	1	-	PSF	2	2	PT	-	-	CLOSER	
PARKADE	006	MECH	006	PARKADE		915	2135	45	F	HM	PT	GL-5	45 MIN	1	-	PSF	2	2	PT	-	-	CLOSER	
PARKADE	007	VEST	007	VEST		915	2135	45	FG	HM	PT	GL-5	-	1	-	PSF	2	2	PT	-	-	SMOKE SEAL	
PARKADE	S1.P	LOBBY	003	STAIR 1	S1.P	915	2135	45	N	HM	PT	GL-5	1 hr	1	-	PSF	2	2	PT	-	-	EXIT DOOR, CLOSER	
PARKADE	S2.P	VEST	007	STAIR 2	S2.P	915	2135	45	N	HM	PT	GL-5	1 hr	1	-	PSF	2	2	PT	-	-	EXIT DOOR, CLOSER	
LEVEL 1	100a	VEST	100a	EXTERIOR		1880	2135	45	FG	ALUM	ANOD	IGU-2	-	3	-	ALUM	5	5	ANOD	-	-	AUTO DOOR OPENER, FOB ACCESS, CLOSER	
LEVEL 1	100b1	LOBBY	100b	VEST	100a	1880	2135	45	FG	ALUM	ANOD	IGU-2	-	3	-	ALUM	5	5	ANOD	-	-	CLOSER, AUTO DOOR OPENER	
LEVEL 1	100b2	ENTRY	100b	LOBBY		915	2135	45	F	SCW	PT	-	90 MIN	1	-	PSF	1	1	PT	-	-	AUTO DOOR OPENER, FOB ACCESS, CLOSER	
LEVEL 1	101	ENTRY	101	EXTERIOR		1880	2135	45	FG	ALUM	ANOD	IGU-2	-	3	-	ALUM	5	5	ANOD	-	-	AUTO DOOR OPENER, FOB ACCESS, CLOSER	
LEVEL 1	102	ENTRY	101	OFFICE		102	915	2135	45	FG	ALUM	ANOD	IGU-2	-	3	-	ALUM	5	5	ANOD	-	-	AUTO DOOR OPENER, FOB ACCESS, CLOSER
LEVEL 1	104	CHILD CARE CENTRE	101a	ACC WC		104	915	2135	45	F	SCW	PT	-	-	-	ALUM	5	5	ANOD	-	-		
LEVEL 1	105	STORAGE	105	CHILD CARE CENTRE		101a	915	2135	45	F	HM	PT	-	-	-	PSF	1	1	PT	-	-	CLOSER	
LEVEL 1	106	JAN	106	CHILD CARE CENTRE		101a	915	2135	45	F	HM	PT	-	-	-	PSF	1	1	PT	-	-	CLOSER, SMOKE SEAL	
LEVEL 1	107	STORAGE	107	CHILD CARE CENTRE		101a	1500	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	108	CHILD CARE CENTRE	108	STAFF ROOM		108	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	109	STAFF ACC WC	110	SECURE CORRIDOR		110	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-	AUTO DOOR OPERATOR	
LEVEL 1	110	CHILD CARE CENTRE	101a	SECURE CORRIDOR		110	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	111	SECURE CORRIDOR	110	STORAGE		111	915	2135	45	F	HM	PT	-	-	-	PSF	1	1	PT	-	-	CLOSER	
LEVEL 1	112	Room	S1.T	EXTERIOR		915	2135	45	F	HM	PT	-	-	-	PSF	2	2	PT	-	-	CLOSER		
LEVEL 1	113a	ENTRY	101a	CHILD CARE CENTRE		101a	915	2135	45	M	SCW	PT	-	-	-	PSF	1	1	PT	-	-	CLOSER	
LEVEL 1	113b	3-5 PROGRAM	113	OUTDOOR PLAY AREA 3-5 YR OLD		121	915	2135	45	FG	ALUM	ANOD	IGU-2	-	1	-	ALUM	5	5	ANOD	-	-	CLOSER
LEVEL 1	113c	WET AREA	113b	WASHROOM		113b	915	1000	20	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114a	CHILD CARE CENTRE	101a	ENTRY		114a	915	2135	45	M	SCW	PT	-	-	-	PSF	1	1	PT	-	-	FOB ACCESS, DUTCH DOORS	
LEVEL 1	114b	NAP AREA	114b	TODDLER		114	1080	2135	45	F	Wdh	PT	-	-	-	PSF	7	7	PT	-	-	SLIDING BARN DOOR	
LEVEL 1	114c	CLOSET	114a2	ENTRY		114a	610	2135	45	F	HCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114c1	LAUNDRY RM	114c1	STOR		114c1	1500	2135	45	F	HCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114c2	STOR	114c2	LAUNDRY RM		114c2	1500	2135	45	F	HCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114c4	ENTRY	114c4	LAUNDRY RM		114c4	915	1000	20	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114d	LAUNDRY RM	114d	ENTRY		114d	915	1000	20	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	114d	TODDLER	114	INFANT		115	915	2135	45	M	SCW	PT	-	-	-	PSF	1	1	PT	-	-	CLOSER, DUTCH DOORS	
LEVEL 1	114e	TODDLER	114	OUTDOOR PLAY AREA INFANTS/ TODDLERS		120	915	2135	45	FG	ALUM	ANOD	IGU-2	-	1	-	ALUM	5	5	ANOD	-	-	CLOSER
LEVEL 1	115a	CHILD CARE CENTRE	101a	ENTRY		115a	915	2135	45	M	SCW	PT	-	-	-	PSF	1	1	PT	-	-	FOB ACCESS, DUTCH DOORS	
LEVEL 1	115b	NAP AREA	115b	ENTRY		115b	1080	2135	45	F	SCW	PT	-	-	-	PSF	7	7	PT	-	-	SLIDING BARN DOOR	
LEVEL 1	115c1	ENTRY	M-P NAP		115c	915	2135	45	F	SCW	PT	-	-	-	PSF	-	-	PT	-	-	SLIDING BARN DOOR		
LEVEL 1	115c2	INFANT	M-P NAP		115c	915	2135	45	F	SCW	PT	-	-	-	PSF	-	-	PT	-	-	SLIDING BARN DOOR		
LEVEL 1	115d	ENTRY	115a	CLOSET		116d	610	2135	45	F	HCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	115e	INFANT	115	OUTDOOR PLAY AREA INFANTS/ TODDLERS		120	915	2135	45	FG	ALUM	ANOD	IGU-2	-	1	-	ALUM	5	5	ANOD	-	-	CLOSER
LEVEL 1	116a	CHILD CARE CENTRE	101a	ENTRY		116a	915	2135	45	M	SCW	PT	-	-	-	PSF	1	1	PT	-	-	FOB ACCESS, DUTCH DOORS	
LEVEL 1	116b	ENTRY	116a	WC		116b	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	116c	ENTRY	116a	WC		116c	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	116d	STORAGE	116a	ENTRY		116a	1016	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	116e	ENTRY	116a	ACC WC		116e	915	2135	45	F	SCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	117	OUT OF SCHOOL CARE	116	EXTERIOR		1880	2135	45	FG	ALUM	ANOD	IGU-2	-	3	-	ALUM	5	5	ANOD	-	-	CLOSER, AUTO DOOR OPENER	
LEVEL 1	117	STORAGE	117	OUTDOOR PLAY AREA INFANTS/ TODDLERS		120	1830	2135	45	F	HM	PT	-	-	-	PSF	2	2	PT	-	-	CLOSER	
LEVEL 1	117b197	WASHROOM	113d	WASHROOM		113d	700	1800	45	F	HCW	PT	-	-	-	PSF	1	1	PT	-	-		
LEVEL 1	118	STORAGE	111	OUTDOOR PLAY AREA 3-5 YR OLD		121	915	2135	45	F	HM	PT	-	-	-	PSF	2	2	PT	-	-	CLOSER	
LEVEL 1	S1.1	STAIR 1	S1.1	LOBBY		100b	915	2135	45	N	HM	PT	GL-5	45 MIN	1	-	PSF	1	1	PT	-	-	EXIT DOOR, CLOSER
LEVEL 1	S2.1	EXTERIOR	S2.1	STAIR 2		100b	915	2135	45	G1	ALUM	PT	GL-5	45 MIN	1	-	PSF	4	4	PT	-	-	EXIT DOOR, CLOSER
LEVEL 2	200b	ELEC. CLOSET	200b	CORRIDOR		200	1830	2135	45	F	HM	PT	-	-	-	PSF	1	1	PT	-	-	SMOKE SEAL, CLOSER	
LEVEL 2	200c	JAN ROOM	200d	CORRIDOR		200	1830	2135	45	F	HM	PT	-	-	-	PSF	1	1	PT	-	-	SMOKE SEAL, CLOSER	
LEVEL 2	201	CORRIDOR	200	UNIT D1		201	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	202	CORRIDOR	200	UNIT C1		202	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	203	CORRIDOR	200	UNIT B1		203	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	204	CORRIDOR	200	UNIT C1R		204	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	205	CORRIDOR	200	UNIT B1R		205	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	206	CORRIDOR	200	UNIT C1		206	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	207	CORRIDOR	200	UNIT B2		207	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	208	CORRIDOR	200	UNIT B3 ACCESS		208	915	2135	45	F	SCW	PT	-	20 MIN	1	-	PSF	1	1	PT	-	-	SUITE ENTRY, CLOSER
LEVEL 2	S1.2	ELEVATOR LOBBY	200a	STAIR 1		S1.2	915	2135	45	N	HM	PT	GL-5	45 MIN	1	-	PSF	1	1	PT	-	-	EXIT DOOR, CLOSER
LEVEL 2	S2.2	CORRIDOR	200																				



**WINDOW SCHEDULE ABBREVIATIONS**

**FRAMES**

- ALUM ALUMINIUM
- PSF PRESSED STEEL
- PSFI PRESSED STEEL, THERMALLY BROKEN
- WD WOOD
- VIN VINYL

**FINISHES**

- ANOD CLEAR ANODIZED
- PAINT PAINTED, SEE FINISH SCHEDULE
- STAIN STAIN, SEE FINISH SCHEDULE
- PRE PREFINISHED BY MANUFACTURER

**GLAZING**

- GL-1 FLOAT GLASS
- GL-2 TEMPERED GLASS
- GL-3 LAMINATED GLASS
- GL-4 LOW EMISSIVITY GLASS (Low-E)
- GL-5 SAFETY GLASS
- GL-6 SPANDREL GLASS
- GL-7 SILVER MIRRORING GLASS

- IGU-1 INSULATED GLASS UNIT FLOAT GLASS
- IGU-2 INSULATED GLASS UNIT W/TEMPERED GLASS
- IGU-3 INSULATED GLASS UNIT W/TEMPERED TRANSLUCENT GLASS

**GENERAL NOTES:**

1. ALL INTERIOR GLAZING TO BE GL-2 UNLESS NOTED OTHERWISE.
2. ALL EXTERIOR GLAZING (INCL. DOORS, SCREENS, TRANSOMS, WINDOWS) TO BE IGU-2 UNLESS NOTED OTHERWISE.
3. ALL EXTERIOR ALUMINUM CURTAINWALL AND INTERIOR STOREFRONT FRAMES TO BE DARK BRONZE ANODIZED.
4. VINYL FRAMES (PATIO DOOR AND WINDOWS) - EXTERIOR TO BE PREFINISHED IN KENDALL CHARCOAL AND INTERIOR TO BE WHITE.
5. ALL PRESSED STEEL WINDOWS & DOORS (IW09-IW13) TO BE PAINTED TO MATCH INTERIOR ALUMINUM WINDOWS (IW01-IW08).
6. WINDOWS IN A PUBLIC AREA ABOVE LEVEL 2 MUST COMPLY WITH THE LATERAL DESIGN LOADS FOR BALCONY GUARDS (AS REQUIRED BY BCBC 3.3.1.20(8)) APPLIES TO: W08 AND W04.

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**2805 CARLOW HOUSING**

2805 CARLOW RD, VICTORIA, BC

No Date Issued

No Date Revised

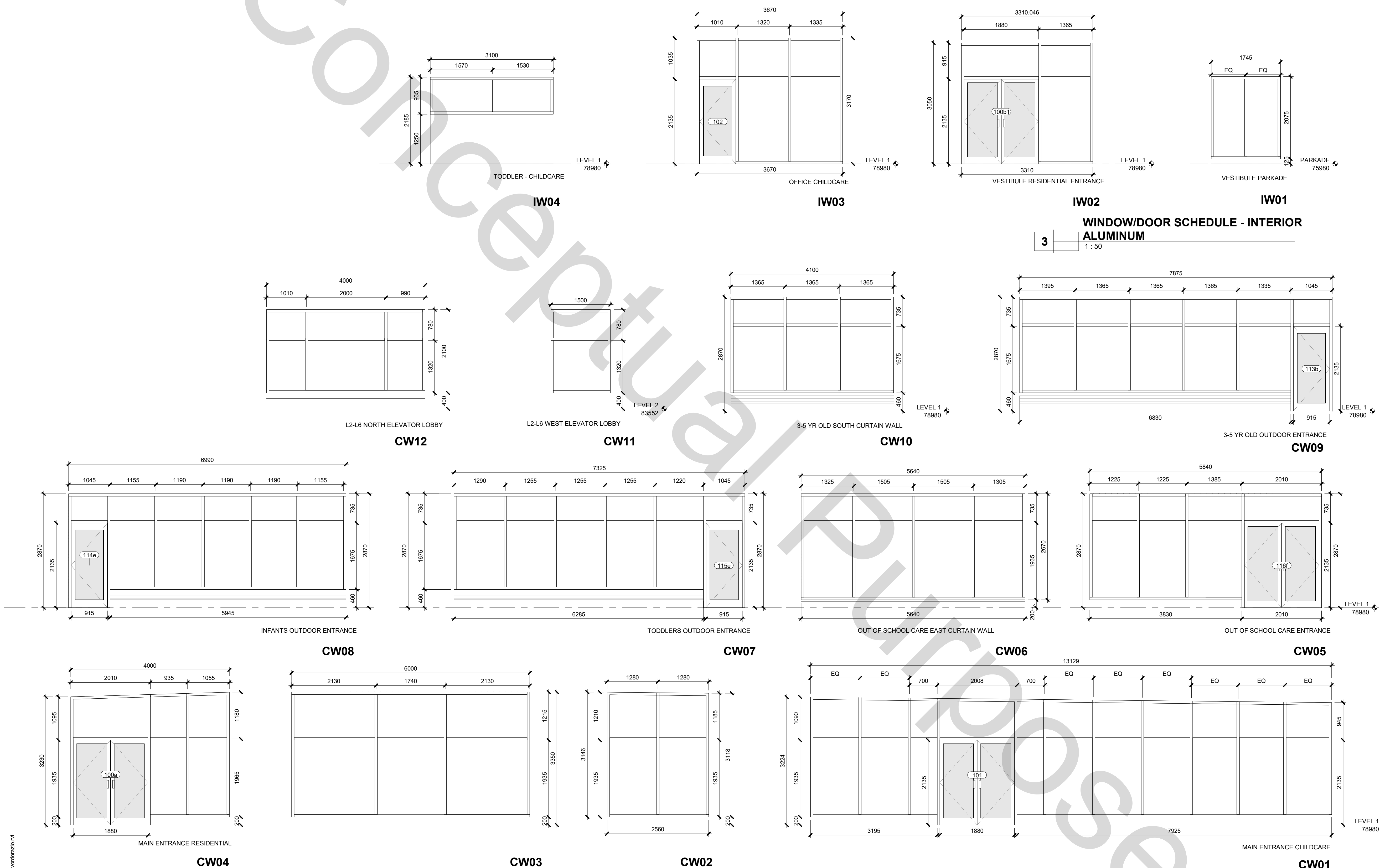
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			SK
Project number	24.12		
Sheet title	WINDOW SCHEDULES		

**WINDOW SCHEDULES**

Sheet number

**A8.10**

Sheet in set: 1 Revision  
File name: 2412\_MHS\_Carlow  
Plot date: 251212



**WINDOW/DOOR SCHEDULE - INTERIOR ALUMINUM**  
1 : 50

**WINDOW/DOOR SCHEDULE - EXTERIOR ALUMINUM (CURTAIN WALL)**  
1 : 50

**WINDOW SCHEDULE - EXTERIOR VINYL**  
1 : 50 ALL FRAMES TO BE VINYL